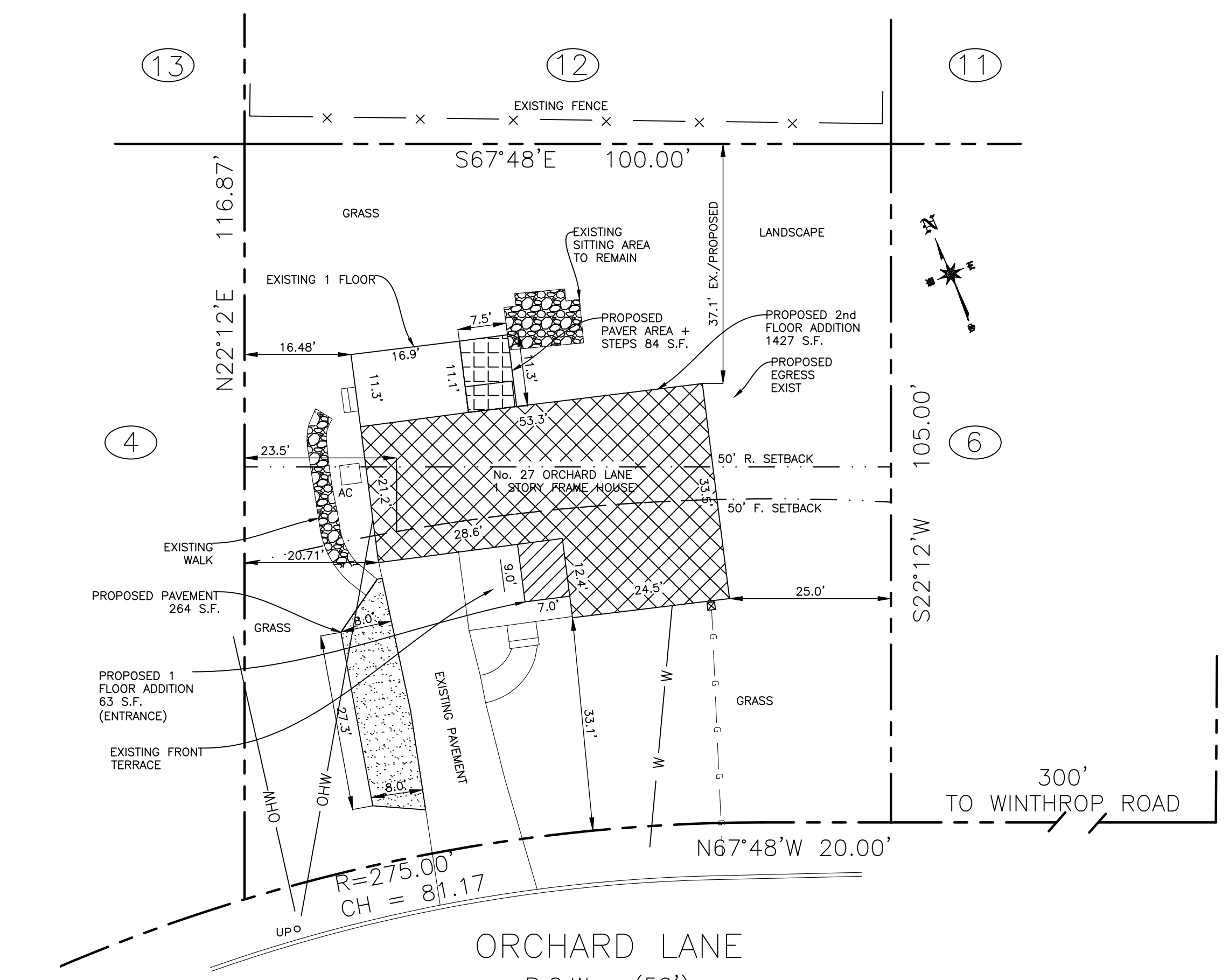


GENERAL NOTES:

1. THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE OUTLINE SPECIFICATIONS, WHEN PROVIDED.
2. THOSE PLANS SHOWN SHALL BE ONLY FOR THE SCOPE OF WORK SHOWN IN THE TITLE (SCOPE OF WORK SECTION), WHICH IS CLASSIFIED BY THE NEW JERSEY BUILDING CODE/ICC LATEST EDITION AS USE GROUP R-5, AND UPON TOWNSHIP ZONING REGULATIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL BUILDING CODES AND REGULATIONS.
4. THE GENERAL CONTRACTOR AND ALL HIS SUBCONTRACTORS MUST COMPLY WITH ALL BUILDING RULES AND REGULATIONS AT ALL TIMES.
5. ALL PARTITIONS AND FURRING SHALL BE WOOD STUD CONSTRUCTION FOR EXTERIOR & INTERIOR WORK AND SHALL CONFORM TO THE NEW JERSEY BUILDING CODE/ICC LATEST EDITION, THE NEW JERSEY RESIDENTIAL CODE/ICC LATEST EDITION AND THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY.
6. ELECTRIC WORK TO CONFORM TO THE LATEST EDITION NATIONAL NATIONAL ELECTRIC AND THE NEW JERSEY ELECTRIC CODE. PROVIDE A MINIMUM OF ONE SMOKE DETECTOR PER BEDROOM AND ON EACH FLOOR. PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR ON EACH FLOOR. ALL SMOKE AND CARBON MONOXIDE DETECTORS TO BE HARDWIRED.
7. INDOOR DESIGN TEMPERATURE SHALL BE MAX. 72° FOR HEATING AND MIN. 78° FOR COOLING BASED ON 10° WINTER AND 83° SUMMER TEMPERATURE LISTED AS PER THE NEW JERSEY BUILDING CODE/ICC LATEST EDITION ENERGY CONSERVATION SECTION.
8. ALL EXPOSED HOT WATER PIPING AND/OR HEATING DUCTS TO BE INSULATED AS PER ENERGY CONSERVATION SECTION OF THE NJBC/ICC LATEST EDITION.
9. THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE NEW JERSEY BUILDING CODE/ICC LATEST EDITION. VERIFY ANY CHANGES IN CODE THAT MIGHT EFFECT CONSTRUCTION WITH TOWNSHIP OF HILLSDALE BUILDING DEPT.
10. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIED USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY !!!
12. ALL ELECTRIC HEAT, ETC. SHALL CONFORM TO PSE&G, NJSEC, NEC, & NBFU REQUIREMENTS.
13. THE ARCHITECT'S CERTIFICATION APPLIES ONLY TO THESE PLANS CONFORMANCE TO THE NEW JERSEY BUILDING CODE/ICC LATEST EDITION, THE NEW JERSEY RESIDENTIAL CODE/ICC LATEST EDITION AND THE UNIFORM CONSTRUCTION CODE OF THE STATE OF NEW JERSEY.
14. GC TO INFORM THE ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS & EXISTING SITE CONDITIONS. NO WORK IS TO PROCEED UNTIL DISCREPANCIES ARE CLARIFIED & CORRECTED.
15. ALL PLUMBING FIXTURES TO BE SUPPLIED AND INSTALLED BY PLUMBING SUBCONTRACTOR. ALL PIPING TO BE SIZED AS MANUFACTURE'S REQUIREMENTS. EXISTING WATER METER & STREET WATER SERVICE TO REMAIN & DISTRIBUTION TO ALLOW FOR THE TOTAL NUMBER OF BATHROOMS PLUMBING IN THE RESIDENCE. SUBCONTRACTOR TO SUPPLY ALL NECESSARY INFORMATION FOR CUT-OUTS TO BE PERFORMED BY MILLWORK SUBCONTRACTOR.
16. THE PLUMBER IS TO INSTALL BASEBOARD HEATING IN ALL NE ROOMS, WHETHER OR NOT THE BASEBOARD HEATING LOCATIONS ARE INDICATED ON THE PLAN. SAID LOCATIONS ARE TO BE DISCUSSED WITH BOTH THE ARCHITECT AND THE OWNER PRIOR TO INSTALLATION.
17. THE GC IS RESPONSIBLE FOR THE DISTRIBUTION OF ALL DRAWINGS TO ALL SUBCONTRACTORS. PARTIAL SETS DO NOT CONSTITUTE COMPLETE DOCUMENTS & AS SUCH, DO NOT DELINEATE ALL ITEMS OF WORK & THEIR COORDINATION WITH OTHER TRADES. ANY ERRORS OR OMISSIONS BY ANY SUBCONTRACTOR RESULTING FROM LACK OF FULL DOCUMENTATION, I.E., INFORMATION WAS ON A DRAWING OR IN PART OF THE SPECIFICATIONS WHICH A SUBCONTRACTOR NEVER RECEIVED, IT IS THE RESPONSIBILITY OF THE GC.
18. GC SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED. DRAWINGS INDICATE THE LOCATIONS FOR EITHER NEW CONSTRUCTION OR EXISTING CONDITIONS TO REMAIN. ANY EXISTING CONDITION SHOWN ON DEMOLITION DRAWINGS IN DOTTED LINES IS TO BE REMOVED. GC TO VERIFY WITH ARCHITECT THOSE ITEMS NOT INDICATED THAT ARE TO BE REMOVED.
19. GC SHALL BE RESPONSIBLE FOR MAKING ALL REPAIRS TO ADJACENT AREAS TO AREA OF WORK DAMAGED DURING PERIOD OF DEMOLITION/ CONSTRUCTION. PROVIDE ADEQUATE PROTECTION TO ALL AREAS OUTSIDE THE SCOPE OF WORK. GC SHALL HAVE AREA "BROOM SWEEP" CLEAN & DEBRIS REMOVED ON A DAILY BASIS.
20. ALL MATERIALS SHALL BE NEW AND UNUSED UNLESS OTHERWISE NOTED. ALL DEFECTIVE MATERIALS FURNISHED BY THE GC AND/OR BY SUBCONTRACTORS SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS' EXPENSE AND WITHOUT DELAY TO THE PROJECT.
21. GC SHALL REMOVE ALL DEBRIS AS IT ACCUMULATES ON THE JOB SITE FROM THE BUILDING. NO DEBRIS SHALL BE LEFT IN THE CORRIDORS AT ANY TIME.
22. GC SHALL LEAVE THE JOB SITE VACUUM/BROOMSWEEP CLEAN AT THE END OF EACH WORK DAY AND AT THE COMPLETION OF THE PROJECT. ALL HARDWARE, METAL & GLASS, AND DOORS SHALL BE CLEANED.
23. THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.
24. ASSUMED SOIL BEARING CAPACITY TO BE 2 TONS PER SQUARE FOOT.
25. ALL FOOTINGS TO REST ON VIRGIN, UNDISTURBED SOIL.
26. CONCRETE TO BE PLAIN, UN-REINFORCED 4,500 PSI, 28-DAY TEST, MIN.
28. ALL LUMBER TO BE DOUGLAS FIR, F=1,750 PSI.
27. DOUBLE JACK STUDS UNDER ALL HEADERS IS REQUIRED, UNLESS OTHERWISE NOTED.
28. ALL LUMBER USED FOR THE CONSTRUCTION OF PLATFORMS, STAIRS, ETC. SHALL BE FIRE RETARDANT LUMBER, UL #2874 FR-S LUMBER. WOOD SILLS THAT SIT ATOP OF CONCRETE WALLS AND SLABS TO BE WOLMANIZED/TREATED LUMBER, NER #628. INSTALL TERMITE SHIELD ALONG EXTERIOR PERIMETER OF CONCRETE FOUNDATION WALL.
29. ALL NEW FLOORS TO RECEIVE A 1/2" THICK PLYWOOD SUB-FLOOR WITH 3/4" THICK FINISH FLOOR, TO BE EITHER OAK OR PINE, AS PER THE OWNER.
30. ALL HEADERS TO BE AS SHOWN ON PLANS.
31. DESIGN LOADINGS ARE AS FOLLOWS, PER SQUARE FOOT:

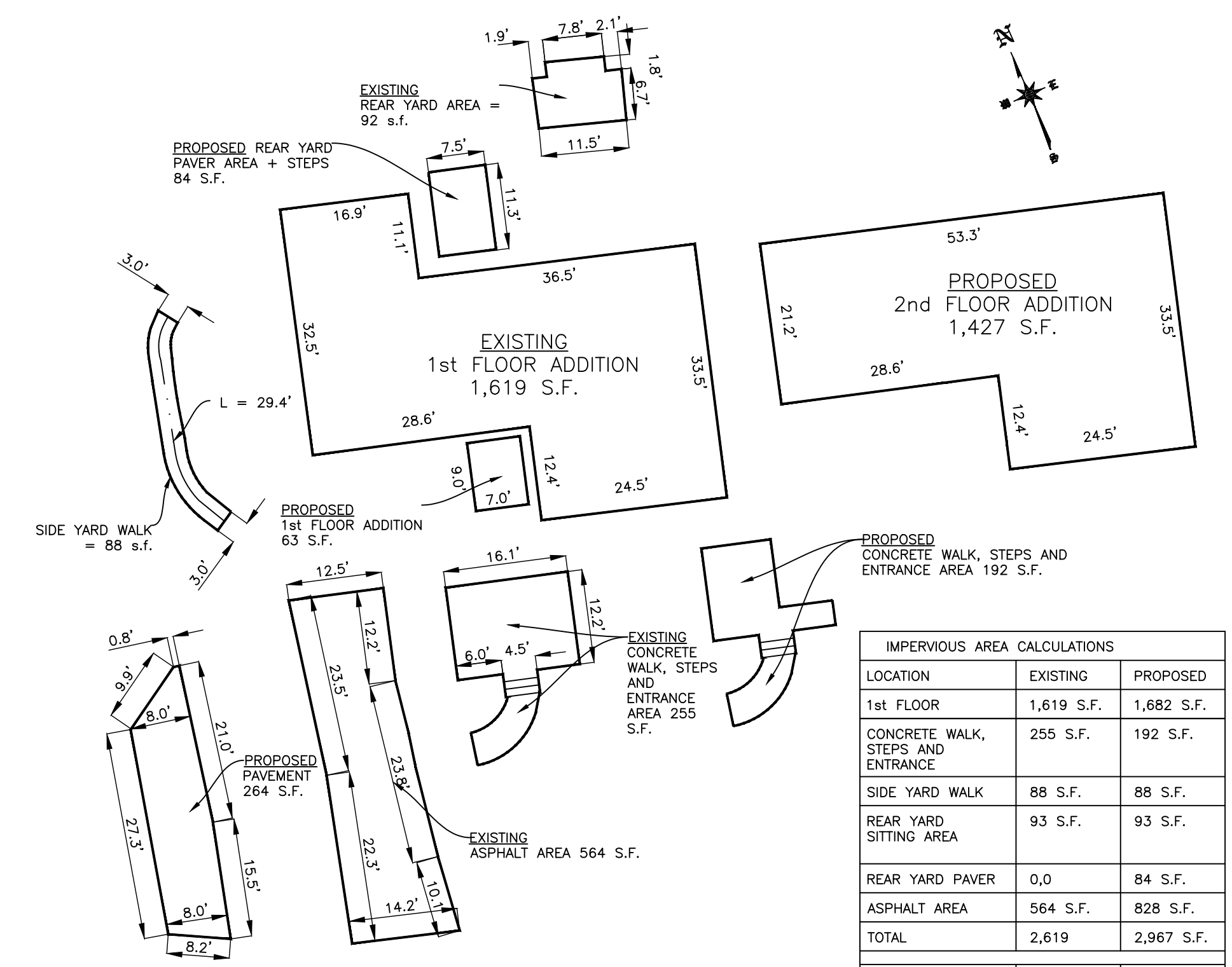
LOCATION	LIVE LOAD	DEAD LOAD	DEFLECTION LIMIT
1ST FLOOR	40 LBS	10 LBS	L/360
2ND FLOOR	40 LBS	10 LBS	L/360
ATTIC (NON-STOR.)	10 LBS	5 LBS	L/240
ROOF (W/ FIN. CLG.)	30 LBS	15 LBS	L/240
ROOF (NO FIN. CLG.)	30 LBS	7 LBS	L/180

CEILING BEAMS MAY HAVE TO BE INCREASED FOR STORAGE ATTICS AND RAFTERS INCREASED FOR HIGHER SNOW LOAD.



SITE PLAN
SCALE 1" = 16'-0"

REFERENCES:
PLAN TITLED: "MAP OF SURVEY" FOR No 27 ORCHARD LANE - BOROUGH OF HILLSDALE
PREPARED BY: SCHERZLER LAND SURVEYING - L.S., DATED: OCTOBER, 8, 2020 - PROVIDED BY OWNER.



AREAS AND FAR CALCULATION
SCALE: 1" = 16'-0"

IMPERVIOUS AREA CALCULATIONS		
LOCATION	EXISTING	PROPOSED
1st FLOOR	1,619 S.F.	1,682 S.F.
CONCRETE WALK, STEPS AND ENTRANCE	255 S.F.	192 S.F.
SIDE YARD WALK	88 S.F.	88 S.F.
REAR YARD SITTING AREA	93 S.F.	93 S.F.
REAR YARD PAVER	0,0	84 S.F.
ASPHALT AREA	564 S.F.	828 S.F.
TOTAL	2,619	2,967 S.F.
ALLOWABLE IMPERVIOUS AREA 30%	2,619/10,816 = 24.2%	2,967/10,816 = 27.4%

FAR (FLOOR RATIO AREA) CALCULATIONS		
LOCATION	EXISTING	PROPOSED
1st FLOOR	1,619 S.F.	1,682 S.F.
2nd FLOOR	0,0 S.F.	1,427 S.F.
TOTAL (FAR) AREA	1,619 S.F.	3,109 S.F.
ALLOWABLE FLOOR AREA 27%	1,619 / 10,816 = 14.96%	3,109 / 10,816 = 28.74%

DESIGN CODES:

ZONING:	LOCAL MUNICIPALITY ZONING ORDINANCE
BUILDING SUBCODE:	INTERNATIONAL BUILDING CODE /2018 (IBC w/NJ) OTHER REFERENCED I-CODE (IFC/2018; IS/SC/2018; etc.) OTHER REFERENCED ICC STANDARDS (OCC/ANSI A117.0-2009; ICC 300-2017; etc.)
PLUMBING SUBCODE:	(NJAC 5:23-3.15) NATIONAL STANDARD PLUMBING CODE/2018
ELECTRICAL SUBCODE:	(NJAC 5:23-3.16) NATIONAL ELECTRICAL CODE (NFPA 70)/2017
ENERGY SUBCODE:	(NJAC 5:23-18) INTERNATIONAL ENERGY CONSERVATION CODE/2018 (LOW RISE RESIDENTIAL) ASHRAE 90.1-2016 (COMMERCIAL & ALL OTHER RESIDENTIAL)
MECHANICAL SUBCODE:	(NJAC 5:23-3.20) INTERNATIONAL MECHANICAL CODE/2018
ONE- AND TWO-FAMILY DWELLING SUBCODE:	(NJAC 5:23-3.21) INTERNATIONAL RESIDENTIAL CODE 2018 (IRC w/NJ EDITS) OTHER REFERENCED I-CODES (IS/SC/2018; etc.)
GAS FEUL SUBCODE:	(NJAC 5:23-3.22) INTERNATIONAL FUEL GAS CODE/2018
REHABILITATION SUBCODE:	(NJAC 5:23-3.6) NUCC SUBCHAPTER 6
BARRIER FREE SUBCODE:	(CHAPTER 11 OF IBC/2018 & NJAC 5.23:23-67) ICC/ANSI A117.1-2009

ZONING DATA: R-2				
BLOCK: 407		LOT: 5		
ITEM	REQUIRED / PERMITTED	EXISTING	PROPOSED	NOTE
MIN. LOT AREA	15,000 S.F.	10,816 S.F. *	10,816 S.F. *	NON-CONFORM
MIN. LOT FRONTAGE & WIDTH	100 FT.	101.17 FT.	101.17 FT.	CONFORM
MIN. LOT DEPTH	150 FT.	105 FT. *	105 FT. *	NON-CONFORM
MIN. FRONT YARD	50 FT.	33.1 FT. *	33.1 FT. **	NON-CONFORM
MIN. REAR YARD	50 FT.	37.1 FT. *	37.1 FT. **	NON-CONFORM
MIN. SIDE YARD	BOTH	30% OF WIDTH = 30.35 FT.	41.48 FT. *	NON-CONFORM
MAX. BUILDING HEIGHTS	35 FT. / 2-1/2 ST.	16 FT. / 1 ST.	31.8 FT. / 2-1/2 ST.	CONFORM
MAX. BUILDING COVERAGE	20%	17%	17%	CONFORM
MAX. IMPERVIOUS COVERAGE	30%	24.2%	27.4%	CONFORM
MAX. FLOOR RATIO (FAR)	27%	14.96%	28.74% **	NON-CONFORM
* EXISTING NON-CONFORMITY				
** PROPOSED VARIANCE				
VOLUME CALCULATION: 14,900 C.F. ADDED TO EXISTING BUILDING				
USE GROUP R5		CONSTRUCTION CLASS 5A		

NOTES:
NO TREE REMOVAL IN THIS PROJECT
ALL EXISTING ABOVE AND UNDER GROUND UTILITY SERVICES TO REMAIN (NO CHANGES)

PROPOSED VARIANCES:	
FLOOR AREA RATIO:	28.74% (3,109 SF) PROPOSED VS. 27% (2,920 SF) MAXIMUM PERMITTED, A DIFFERENCE OF 1.74% (109 S.F.)
FRONT YARD SETBACK:	33.1 FT. PROPOSED VS. 50 FT. REQUIRED, A DIFFERENCE OF 16.9 FT.
REAR YARD SETBACK:	33.1 FT. PROPOSED VS. 50 FT. REQUIRED, A DIFFERENCE OF 16.9 FT.

EXISTING VARIANCES:	
LOT AREA:	18,816 S.F. EXISTING VS. 15,000 S.F. REQUIRED, A DIFFERENCE OF 3,816 S.F.
LOT DEPTH:	105 FT. EXISTING VS. 150 S.F. REQUIRED, A DIFFERENCE OF 45 FT.
FRONT YARD SETBACK:	33.1 FT. EXISTING VS. 50 REQUIRED, A DIFFERENCE OF 16.9 FT.
REAR YARD SETBACK:	33.1 FT. EXISTING VS. 50 FT. REQUIRED, A DIFFERENCE OF 16.9 FT.

DRAWING ISSUE:		
NO.	DATE	DESCRIPTION
0	01/18/21	ISSUED FOR TOWNSHIP REVIEW
1	03/12/21	REVISED AS PER ENGINEER CHRISTOPHER P. STALLIE OFFICE LETTER DATED MARCH, 8 2021
2	03/22/21	REVISED FAR CALCULATIONS
3	06/06/21	REVISED REAR YARD SETBACK

SCOPE OF WORK:
INTERIOR RENOVATION AND 2nd FLOOR ADDITION

PROJECT:
27 ORCHARD LANE, BOROUGH OF HILLSDALE, NJ 07642

MUNICIPALITY: BOROUGH OF HILLSDALE

TAX LOT: 5 - BLOCK: 407

DRAWING TITLE:

PLOT PLAN, TABLES, ZONING AND NOTES

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