

Report of
**Preliminary Investigation for
Determination of an Area in Need of Redevelopment
without Condemnation**

For

Block: 1207, Lots: 8, 9 10 & 11; Block: 1208, Lots: 1, 2, 3, 4 & 5; Block: 1209, Lots: 2, 3, 4, 5 & 6;
Block: 1210, Lots: 6, 7, 8, 9, 10 & 11; Block: 1211, Lots: 1 & 2; Block: 1212, Lot: 13.



Prepared By:
DMR Architects

Prepared For:
Borough of Hillsdale
Bergen County, New Jersey

Francis Reiner, LLA - PP
License #: LI00616700

February 2019

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ACKNOWLEDGMENTS

Mayor and Council

Mayor John Ruocco
Councilman Steven Segalas
Councilman Frank Pizzella
Councilwoman Abby Lundy
Councilman Scott Karcich
Councilman Anthony DeRosa
Councilman Zoltan Horvath

Planning Board

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1. PURPOSE:

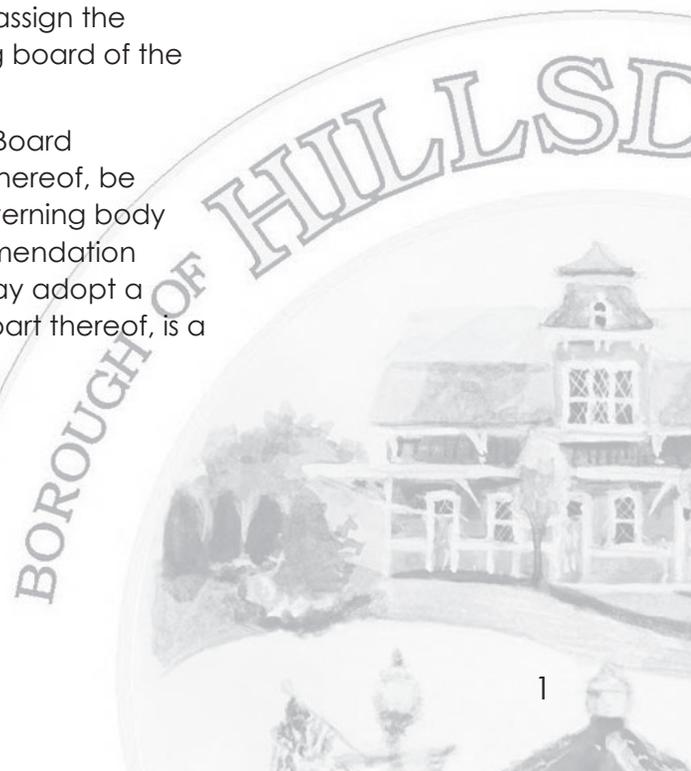
The Borough of Hillsdale adopted Resolution #19039 on January 15th, 2019 which directed the Borough of Hillsdale Planning Board to undertake a preliminary investigation pursuant to the Local Redevelopment and Housing Law (LRHL) to determine whether Block: 1207, Lots: 8, 9 10 & 11; Block: 1208, Lots: 1, 2, 3, 4 & 5; Block: 1209, Lots: 2, 3, 4, 5 & 6; Block: 1210, Lots: 6, 7, 8, 9, 10 & 11; Block: 1211, Lots: 1 & 2; and Block: 1212, Lot: 13. (the "Area of Investigation") meet the statutory criteria set forth in N.J.S.A. 40A:12A-1 as an area in need of redevelopment without condemnation.

In addition, Resolution #19039 authorized DMR Architects (DMR) to assist the Planning Board in the investigation of these properties. Pursuant to the resolution, the Planning Board adopted a resolution that appointed DMR to perform a preliminary investigation, which details the findings and recommendations relevant to whether the Area of Investigation should be designated as "an area in need of redevelopment".

2. INTRODUCTION:

This report is written pursuant to Section 6 of the LRHL, serving as the "statement setting forth the basis for investigation." In the relevant part the LRHL requires the following procedures:

- a. No area of a municipality shall be determined a redevelopment area unless the governing body of the municipality shall, by resolution, authorize the planning board to undertake a preliminary investigation to determine whether the proposed area is a redevelopment area according to the criteria set forth in Section 5 of P.L. 1992, c.79 (C:40:12A-5). The governing body of a municipality shall assign the conduct of the investigation and hearing to the planning board of the municipality.
- b. After completing its hearing on this matter, the Planning Board shall recommend that the delineated area, or any part thereof, be determined, or not be determined, by the municipal governing body to be a redevelopment area. After receiving the recommendation of the planning board, the municipal governing body may adopt a resolution determining that the delineated area, or any part thereof, is a redevelopment area.



3. Property Description:

The purpose of this report is to determine whether or not the identified properties in the Borough of Hillsdale meet one or more of the statutory criteria as an area in need of redevelopment pursuant to the Local Redevelopment and Housing Law (N.J.S.A.12A-5). The investigation area, consists of 23 lots that comprise approximately 14 acres, all of which are located in the Industrial (I) Zone. The study is depicted on Map 1 and includes the following tax parcels:

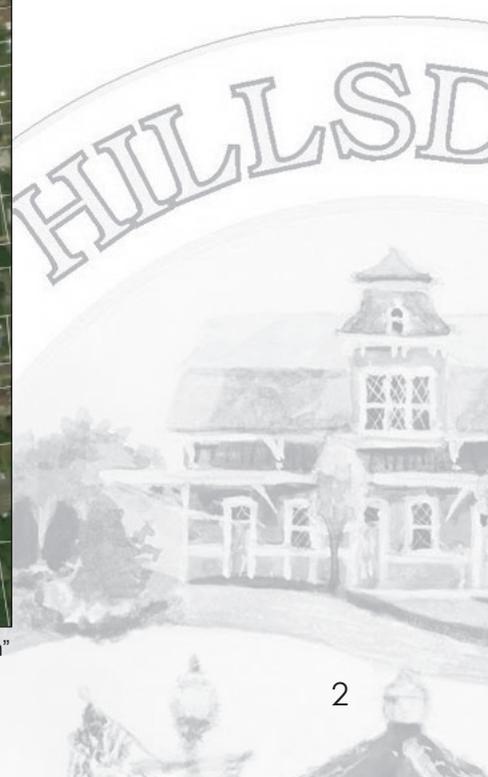
- Block: 1207, Lots: 8, 9 10 & 11;
- Block: 1208, Lots: 1, 2, 3, 4 & 5;
- Block: 1209, Lots: 2, 3, 4, 5 & 6;
- Block: 1210, Lots: 6, 7, 8, 9, 10 & 11;
- Block: 1211, Lots: 1 & 2;
- Block: 1212, Lot: 13;

The subject properties are generally located west of Patterson Street, along Prospect Place, Piermont Avenue, Brookside Place and Knickerbocker Avenue. The Investigation Area is primarily comprised of commercial and industrial uses along with surface and storage parking.

The western boundary of the investigation area is a Category One (C1)



Map 1: "Area of Investigation"



PROPERTY DESCRIPTION

stream. This classification of this stream is protected from any measurable change in water quality because of their exceptional ecological significance, exceptional recreational significance, exceptional water supply significance, or exceptional fisheries resources.

Buffers are vegetated areas adjacent to waterways that provide protection to New Jersey's water quality. These special areas are established and protected through various rules and may vary in width. A 300 foot or Category One (C1) buffer is required by the Stormwater Management (NJAC 7:8) and the Flood Hazard Area Control Act rules (FHACA) at NJAC 7:13, for certain activities proposed adjacent to waters designated in the Surface Water Quality Standards (NJAC 7:9B) as C1 or their upstream tributaries in the same sub-watershed.

Map 2 identifies the properties that are affected by the buffer area.



Map 2: C1 Waterway Classification with buffers.

4. Background Information:

As a part of the process to determine if the properties being investigated meet one or more of the statutory criteria as an area in need of redevelopment, DMR Architects requested any relevant information pertaining to a potential designation from the Building, Fire and Police Departments as well as from the Tax Assessors offices for the past five (5) years.

In addition, DMR reviewed all available GIS maps, aerial photographs and reports pertaining to the properties in question. Multiple site visits were made to the area and photographs were taken for each property. Permission to access all properties was requested as part of this study. As noted for each property, access was not granted by all property owners.

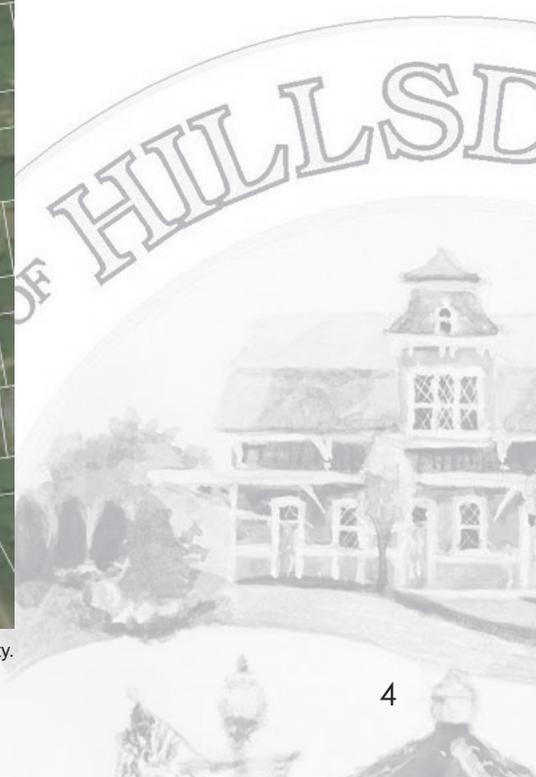
The information obtained by the various departments identified a total of 182 items of note for all of the properties in the Investigation Area over the past five year. They included the following:

- 45 Traffic Violations / Motor Vehicle Accidents
- 64 Noise / Odor Complaints
- 41 Municipal Ordinance Violations
- 29 Fire Department Calls / Requests
- 3 Gas Leak / Explosions

The information provided in this report includes copies of the various items as identified for each property.



Map 3: Items of note for the Investigation Area as identified for each property.



5. Existing Zoning in the Investigation Area:

<u>Zone:</u>	Industrial (I) Zone
<u>Principal Permitted Uses:</u>	Light industrial use which could not cause injurious or obnoxious noise, vibration, smoke, gas fumes, odors, dust or other objectionable conditions. Laboratories, research, experimental or testing; Light, non nuisance manufacturing, processing, fabrication, assemblage, packaging and warehousing of products; Public Utility installations;
<u>Accessory Uses:</u>	Storage Building
<u>Conditional Uses:</u>	Service Stations, Public utilities, Apparel and dry cleaning establishments, Places of worship (see 310 - 67(H))
<u>Building Heights:</u>	30 feet maximum
<u>Building Coverage:</u>	50 percent maximum
<u>Lot Area:</u>	20,000 sf minimum
<u>Lot Frontage and width:</u>	100 feet minimum
<u>Lot Depth:</u>	N/A
<u>Front Yard Depth:</u>	25 feet minimum
<u>Side Yard Depth:</u>	Minimum 30 feet on each side or 15% of lot width on each side, whichever is lesser
<u>Rear Yard:</u>	10 feet minimum
<u>Floor Area Ratio:</u>	N/A
<u>Other Required Conditions and Supplementary Notes:</u>	See Also 310-113D. All permitted commercial and industrial activities shall take place within an enclosed building. Incidental storage out of doors shall be shielded from view from public streets and adjacent residence zones by fencing, landscaping or other appropriate measures. Whenever and lot in a Commercial "C" District or in an Industrial "I" District shall have a common boundary line, in whole or in part, with a lot or lots in a Residential District, no commercial or industrial uses shall be commenced or maintained on the lot in such Commercial or Industrial District unless and until there shall first have been established and, at all times during such use, maintained, along or in the immediate vicinity of such common boundary line, a buffer strip on which there shall be closely planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District.
<u>Total Floor Area Req:</u>	N/A

10. STATUTORY CRITERIA FOR AN “AREA IN NEED OF REDEVELOPMENT” DESIGNATION:

The laws governing redevelopment by municipalities in New Jersey are set forth in the LRHL, which is codified at N.J.S.A. 40A:12A-1 et seq. This statute grants the governing body of a municipality the power to authorize the Planning Board to conduct a study to determine whether an area is in need of redevelopment; to make such a determination following the completion of the study; and to adopt a redevelopment plan for the designated area.

An area may be determined to be in need of redevelopment only if, after an investigation by the Planning Board and a public hearing for which notice has been given, it is found that the area meets one or more of the following criteria:

- a. The generality of buildings are substandard, unsafe, unsanitary, dilapidated or obsolescent or possess any of such characteristics, or are so lacking in light, air or space, as to be conducive to unwholesome living or working conditions.
- b. The discontinuance of the use of buildings previously used for commercial, manufacturing or industrial purposes; the abandonment of such buildings; or the same being allowed to fall into so great a state of disrepair as to be untenable.
- c. Land that is owned by the municipality, the county, a local housing authority, redevelopment agency or redevelopment entity, or unimproved vacant land that has remained so for a period of ten years prior to adoption of the resolution, and that by reason of its location, remoteness, lack of means of access to developed sections or portions of the municipality, or topography, or nature of the soil, is not likely to be developed through the instrumentality of private capital.
- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.
- e. A growing lack or total lack of proper utilization of areas caused by the condition of the title, diverse ownership of the real property therein or other conditions, resulting in a stagnant or not fully productive condition of land potentially useful and valuable for contributing to and serving the public health, safety and welfare, which condition is presumed to be having a negative social or economic impact or otherwise being detrimental to the safety, health morals, or welfare of the surrounding area or community in general.
- f. Areas, in excess of five contiguous acres, whereon buildings or other improvements have been destroyed, consumed by fire, demolished or altered by the action of storm, fire, cyclone, tornado, earthquake or other casualty in such a way that the aggregate assessed value of the areas has been materially depreciated.
- g. In any municipality in which an enterprise zone has been designated pursuant to the “New Jersey Enterprise Zones Act,” P.L. 1983, c.303 (C.52:27H-60 et seq.) the execution of the actions prescribed in that act for the adoption by the municipality and approval by the New Jersey Urban Enterprise Zone Authority of the zone development plan for the area of the enterprise zone shall be considered sufficient for the determination that the area is in need of redevelopment pursuant to sections 5 and 6 of P.L. 1992, c. 79 (C.40A:12A-5 and 40A:12A-6) for the purpose of granting tax exemptions within the enterprise zone district pursuant to the provisions of P.L. 1991, c.431 (C.40A:20-1 et seq.) or

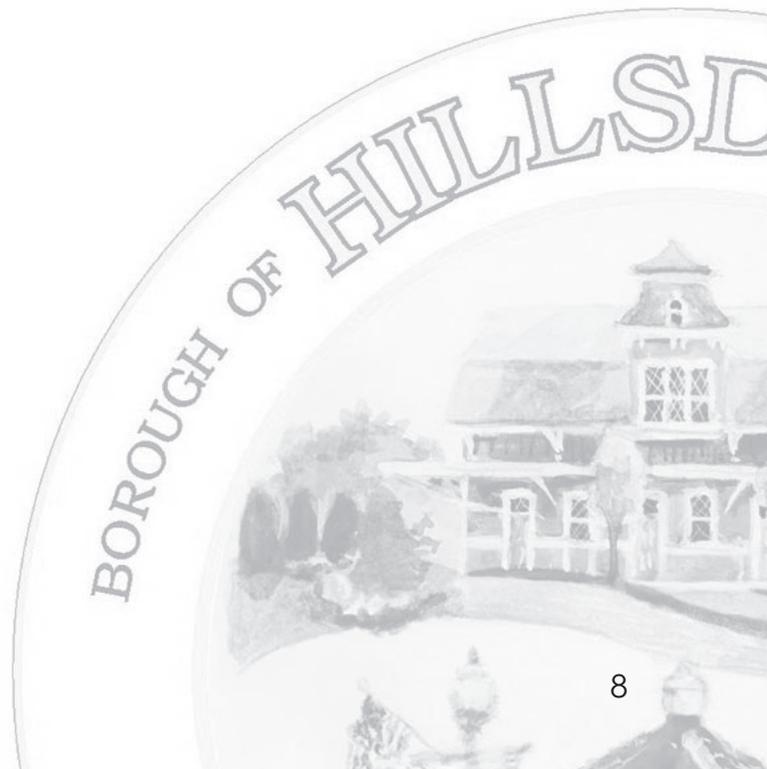
the adoption of a tax abatement and exemption ordinance pursuant to the provisions of P.L. 1991, c.441 (C.40A:21-1 et seq.), or the adoption of a tax abatement and exemption ordinance pursuant to the provisions of P.L. 1991, c.441 (C.40A:21-1 et seq.). The municipality shall not utilize any other redevelopment powers within the urban enterprise zone unless the municipal governing body and planning board have also taken the actions and fulfilled the requirements prescribed in P.L. 1992, c. 79 (C.40A:12A-1 et al.) for determining that the area is in need of redevelopment or an area in need of rehabilitation and the municipal governing body has adopted a redevelopment plan ordinance including the area of the enterprise zone.

- h. The description of the delineated area is consistent with smart growth planning principles adopted pursuant to law or regulation.

Additionally, a redevelopment area “may include lands, buildings or improvements which of themselves area not detrimental to the public health safety or welfare, but the inclusion of which is found necessary, with or without change in their condition, for the effective redevelopment of the area of which they are a part”. See N.J.S.A. 40A:12A-3.

11. CRITERIA FOR AN “AREA IN NEED OF REDEVELOPMENT” DESIGNATION BY BLOCK AND LOT:

The following information is presented for each Block and Lot in order to determine it meets the statutory criteria as an area in need of Redevelopment per N.J.S.A. 40A:12A-1.



Owner:
DFIO LLC
11 Langerfeld Rd
Hillsdale, NJ 07642



Property Use:
Commercial

Zone District:
Industrial (I)

Property Acreage:
0.4217

Permitted Use:
Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1207 Lot 8:

1. Assessment:	\$ 964,900
2. Land Value:	\$ 460,500
3. Improvement Value:	\$ 504,400

Property Description:

This property (49 Prospect Place) is located in the Industrial Zone at the corner of Patterson Street and Prospect Place. A small portion of the property, at the rear, abuts the adjacent Residential R-4 Zone. The property includes a two story building, which has multiple commercial/office tenants, is surrounded by asphalt surface parking that goes to the back of the curb along Patterson Street and Prospect Place.

The property is approximately 157 feet wide by 117 feet deep. The existing asphalt parking lot contains approximately twelve (12) angled parking spaces (striping is not visible for all spaces) located between the building and the public streets. In addition, the side and rear portions of the building are also comprised of asphalt from the building facade to the property lines with the exception of a 12 to 24 inch landscape planting strip located along the rear property lines / fence. With the exception of minor landscape planting strip, and small planters along the building facade on Prospect Place, the property is comprised of impervious surfaces.

Access for the property includes two curb cuts with one off Patterson Street and the other off Prospect

Place. The majority of the site consists of asphalt with minimum landscaping along the front of the building facing Prospect Place. There are no sidewalks or pedestrian walkways on the site and the asphalt parking along the street frontage goes directly to the back of curb along both streets.

As indicated, a portion of the property abuts a the R-4 (residential zoning district), which requires, a minimum landscape buffer strip with planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District. *(Existing Zoning - Other Required Conditions and Supplementary Notes)* The property does not conform to the required landscape buffer as noted in the attached images.

Multiple site visits were conducted including an inspection of the interior of the property. The main entrances to the three (3) commercial suites face Prospect Place. There are additional entrances in the rear of the building and on both ends of the building. In all cases, the doors swing open directly on to the parking lot. There are no sidewalks or other safety measures to delineate this pedestrian movement from vehicular movements.

In addition, the building is set back approximately 27 feet from Prospect Place and 27 feet at it's narrowest point from Patterson Street. There are no sidewalks or buffers along either street that would prevent a vehicle from driving over the curb onto the streets. Further, the distance between the building and the back of curb is not sufficient for the angled parking and drive aisle from both a practical stand point and as required by the municipal zoning ordinance (Section 310-58).

In addition, the existing building has multiple roof drains that run along the building facade and empty onto the asphalt parking area. Water running across the asphalt into the public street was observed during several visits to the site.

The interior portions of the building are well kept and maintained. Some of the restrooms do not appear to be fully ADA compliant and based on the sump pump there appears to be signs of occasional water within that area of the building.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records indicate there have been a number of violations associated with this property's address *(See Map 2 in this report)*. The records show multiple traffic and motor vehicle accidents/violations and a couple of noise/odor complaints. The property's full record from the Borough can be located within this section of the report.

Redevelopment Designation:

The nature of the property meets criteria "d" of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d", which include:

- 1) Roof leaders drain water across the asphalt parking areas into the public right of way and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot

into the public storm water system, which represents a detrimental impact to the health, safety and welfare of the community;

- 2) Three doors facing Prospect Place all swing open onto the parking lot with no sidewalk or designated area for the pedestrians to safely enter or exit from these doors. In addition, the doorways have a threshold of several inches above the existing grade and there is no exterior lighting for these areas. These conditions are dangerous for pedestrians entering or exiting the building by not having an area of refuse, by not having any exterior lighting at the doorways and by having a threshold that could be a tripping hazard;
- 3) The area adjacent to the residential zoning district does not provide the required minimum landscape buffer strip with planted evergreens or other natural foliage, that is not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District. (*Existing Zoning - Other Required Conditions and Supplementary Notes*). This condition has a detrimental impact on the adjacent property owner;
- 4) The area between the building and the public streets are insufficient and do not meet the requirements of the Hillsdale Zoning Ordinance (Section 310-58). This deficiency create dangerous conditions which are detrimental to the safety, health and welfare of the community. The existing dimension between the building and Prospect Place is approximately 27 feet. The zoning states, "Parking areas shall not be closer than 10 feet from any street line" (Section 310-58). As noted the asphalt parking goes directly to the back of curb along both streets, which does not meet this requirement.

The resulting condition leaves approximately 17 feet for parking and a drive aisle. Drive aisles are required to be a minimum of 12 feet (Section 310.106) for an angled parking configuration. The zoning code also states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4). Given all of the requirements for the parking, drive aisle width and offset distance from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way, which is dangerous condition that is detrimental to the health, safety and welfare of pedestrians and vehicles. A lack of lighting in the parking areas add to this dangerous condition.

- 5) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation." The requirement also states, "adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, and given the lack of pedestrian refuse areas can create dangerous conditions at night that can be detrimental to the health, safety and welfare of the community.
- 6) The "other" condition that is detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition can exacerbate flooding in the area as well as potentially overwhelming the existing storm water system.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1207 Lot 8 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: View from the corner of Prospect Place and Patterson Street with no sidewalks, lighting and asphalt to the back of curb.



Image 2: Front door opening onto asphalt parking area.



Image 3: Roof leader draining across asphalt drive to public right of way.



Image 4: Roof leader draining across asphalt drive to public right of way with angled parking in front of building.



Image 5: Asphalt from building to the back of curb with no sidewalk and limited dimension for vehicles to maneuver.



Image 6: Patterson Street with no sidewalk, parking against building, limited dimension for vehicular maneuvering.



Image 7: Side of the building with roof leader draining on the asphalt parking



Image 8: View of rear portion of property adjacent to residential without required buffer



Image 9: Exterior door without light, threshold not flush and existing directly onto asphalt parking



Image 10: View along Prospect Place with angled parking and limited space for maneuvering. No sidewalks or pedestrian safety measures.



Image 11: View at drive entrance depicting damage to asphalt in the public right of way.



Image 12: Angled parking in front of the existing building along Prospect Place.



Image 13: View of rear portion of the building along Patterson Street depicting asphalt around the building, angled parking along the side with limited area for vehicular maneuvering, no required landscape buffer along the rear adjacent to the residential zone and no sidewalks.

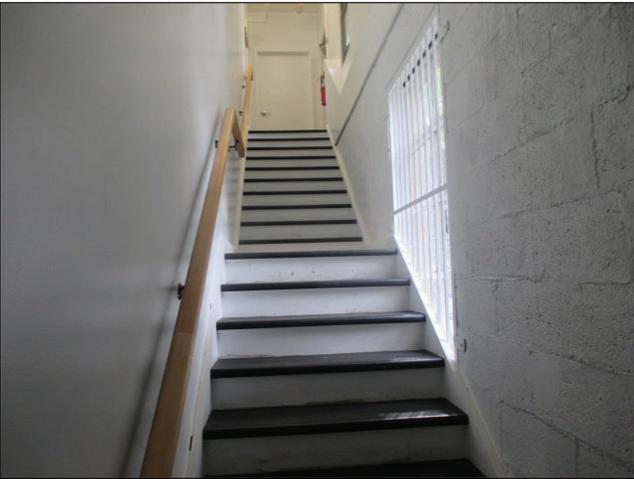


Image 14: Interior stairs



Image 15: Example of interior portion of the building



Image 16: Example of interior portion of the building.



Image 17: Example of interior storage room.



Image 18: Example of interior portion of the building



Image 19: Example of interior bathroom which is not ADA compliant.



Image 20: Example of interior bathroom which is not ADA compliant.



Image 21: Sump pump

PD Case Search List

344 1207 / Lot 8

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
02/08/2017 17:02	2017-61336	BING, LORRAINE (DRIVER)	CAMPORSALE MICHAEL (OFFICER) / ROONEY, COREY (SECONDARY) (OFFICER)	53 EAGLE RIDGE, MONTVALE, NJ 07045-1307 (HOME) / 49 Prospect Pl, Hillsdale, NJ 07542	NV ACCIDENT / NO INJURIES	CLOSED	02/08/2017	View Documents	ROONEY, COREY
02/04/2017 13:14	2017-61196	BRAY, JOSEPH D (CONTACT) / MACDUGALL, MAUREEN P (OWNER) / ORSONI, CATHLIN T (ASSOCIATE)	ROONEY, COREY (PRIMARY) (OFFICER)	389 1ST ST APT 3, ROSEREN, NJ 07230 (HOME) / 49 MT VERNON ST, NUTLEY, NJ 07110-2308 (HOME) / 49 Prospect Pl, Hillsdale, NJ 07542 / PO BOX 218, ARKVILLE, NY 12408	POLICE INTERVIATION	CLOSED	02/04/2017	View Documents	ROONEY, COREY
02/01/2017 14:19	2017-61080	MACDUGALL, MAUREEN P (COMPLAINANT)	SMETICHEN JR, WILLIAM J (PRIMARY) (DETECTIVE) / NORTON, RYAN (PRIMARY) (OFFICER)	49 PROSPECT PL, HILLSDALE, NJ 07542 (BUSINESS) / 49 Prospect Pl, Hillsdale, NJ 07542 / PO BOX 218, ARKVILLE, NY 12408 (HOME)	FRAUD BAD CHECKS	CLOSED	02/27/2017	View Documents	NORTON, RYAN
08/18/2015 11:52	2015-07093	FIORINO, DANNE A (OTHER) / PARK, ROSE R (OTHER) / BRAND, BARBARA A (COMPLAINANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	1 SPRING CT, OLD TAPPAN, NJ 07657-328 (HOME) / 11 LANGFORD ROAD, HILLSDALE, NJ 07542-1009 (HOME) / 305 VALLEY BLVD, WOOD ROBE, NJ 07075-7048 (HOME) / 49 PROSPECT PL, HILLSDALE, NJ 07542 / 51 Prospect Pl, Hillsdale, NJ 07542	DISPUTE	CLOSED	08/18/2015	View Documents	ROONEY, COREY
04/28/2013 08:49	1304951		MAZZEO, JOSEPH (PRIMARY) (OFFICER)	49 PROSPECT PL, HILLSDALE, NJ	4015 / Noise Complaints		04/28/2013		SUPER, USER
09/17/2012 07:43	1208029	RUIZ, LAURA E (DEFENDANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	49 PROSPECT PL, HILLSDALE, NJ	6312 / Warnings, M U Verbal, Writts	PENDING	09/18/2015		SUPER, USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
02/08/2017 08:57	1206481			49 PROSPECT PL, HILLSDALE, NJ	7108 / Fire Alarm In/Out of service		02/08/2012		SUPER, USER
04/21/2012 11:12	1203922	BIML, EDWARD (DEFENDANT) / PARK, ROSE (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	49 PROSPECT PL, HILLSDALE, NJ	7015 / Assistance		04/21/2012		SUPER, USER
08/18/2010 19:39	1008231			49 PROSPECT PL, HILLSDALE, NJ	7808 / Fire Alarm In/Out of service		08/18/2010		SUPER, USER
03/29/2008 07:53	0903107		FRANCIVOLLA, ROBERT (PRIMARY) (OFFICER)	49 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invasi of		03/29/2008		SUPER, USER
09/02/2001 10:14	0109552	ACTION CARTING ENVIRONMENTAL INC (OTHER) / DENOBLE, NANCY (COMPLAINANT)	HARGER, PAUL (PRIMARY) (OFFICER)	428 FREILINGHUYSEN AVE, NEWARK, NJ 07114 (HOME) / 49 PROSPECT PL, HILLSDALE, NJ	4013 / OODR Complaint/Invasi sption		09/02/2001		SUPER, USER
03/22/2006 20:07	3010333	CHENG, BENNY (COMPLAINANT)	SMITH, SEAN (PRIMARY) (OFFICER)	49 PROSPECT PLACE, HILLSDALE, NJ	3011 / Littering, Invasi	PENDING	09/18/2015		SUPER, USER



Owner: RBL Assoc. LLC
55 Prospect Place
Hillsdale, NJ 07642

Property Use:

Office / Truck Parking

Zone District:

Industrial (I)

Property Acreage:

0.3329

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1207 Lot 9:

- | | |
|-----------------------|------------|
| 1. Assessment: | \$ 500,000 |
| 2. Land Value: | \$ 405,000 |
| 3. Improvement Value: | \$ 95,000 |

Property Description:

This property (55 Prospect Place) includes a two story building being used as an office building with accompanying asphalt lot located on the both sides of the building. The lot, which has frontage on Prospect Place, it is approximately 125 feet wide by 116 feet deep.

The property abuts the adjacent Residential R-4 zoning district along the rear property line, which requires a minimum landscape buffer strip with planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District (*Existing Zoning - Other Required Conditions and Supplementary Notes*). Access to the property was requested but was not granted. During several site visits as well as reviewing aerial photography the required six foot landscape buffer along the rear portion of the property that would be required adjacent to the R-4 zone was not observed. Along the front of the building there are two six foot fences along both sides of the property.

The property includes large concrete walls that delineate areas for various landscape, hardscape and

construction materials. These materials are located directly on the asphalt, which grades toward the public right of way. There were no control measures observed that would prevent sediment, chemicals or other materials from being captured on site during rain events. In addition, sediment, stone, landscape materials were all observed along the street at the base of the drives, which indicate these materials are being taken off the site and into the storm water system without any control measures.

The site has curb cuts on both sides of the building allowing access to the parking area from Prospect Place. During multiple site visits large trucks were viewed parked in the lots, which is not large enough to allow commercial vehicles to enter or exit the lot without having to either back into or out of the public street. In addition, there was no site lighting observed on the property.

As noted in this report (See Map 2), there have been numerous violations, motor vehicle accidents, municipal ordinance violations, fire calls as well as noise and odor complaints over the past five years all of which support issues related to the health, safety and welfare of the community.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records indicate the property has had numerous violations over the past few years which include 19 pages of violations. There have been six (6) traffic violations/motor vehicle accidents, seven (7) municipal ordinance violations, twelve (12) fire call/requests, and nine (9) noise/odor complaints. Additionally, the records indicate there have been a number of alarms for burglary or holdups on the site. The property's full record from the Borough can be found within this document.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The property includes large areas of landscape, hardscape and construction materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be

considered:

Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

“Industrial stormwater exposed to source material. “Source material” means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater”.

As indicated this property does not require these provisions, however the lack of stormwater management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare given the lack of controls for this property.

- 2) Per Section 310-113, “All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area”. As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.
- 3) Per Section 210-60, “Access to truck standing, loading and unloading space shall be provided directly from a public street or alley or from any right-of-way that will not interfere with public convenience and will permit orderly and safe movement of truck vehicles”. During several site visits, commercial trucks were observed backing out of the property into the public right of way. This condition creates conflicts with other vehicles within the public right of way, which is detrimental to the safety, health and welfare of the community, as evidenced by the number of violations associated with this property according to the Borough's records. Violations include municipal ordinances, sanitation codes, accidents and noise complaints. The Borough's emergency services have also been called to this property to investigate criminal mischief, multiple burglaries and gas leak explosions all of which represent detrimental impacts to the public safety and welfare of the community.
- 4) The area adjacent to the residential zoning district does not provide the required landscape buffer (Existing Zoning - Other Required Conditions and Supplementary Notes) which has a detrimental impact

on the adjacent property owner;

- 5) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system, which is detrimental to the health, safety and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1207 Lot 9 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: East drive with grades to the Prospect Place and commercial vehicle



Image 2: West driveway on Prospect Place, with large commercial vehicle parked. Run-off with sediment and debris from property into public right of way.



Image 3: East drive with grades down to the Prospect Place depicting sediment and gravel along public right of way. No sidewalks or lighting.



Image 4: West driveway on Prospect Place, with gravel and sediment from property in public right of way.



Image 5: No compliant sidewalk width in front of the building.



Image 6: West driveway on Prospect Place, with gravel and sediment from property in public right of way.

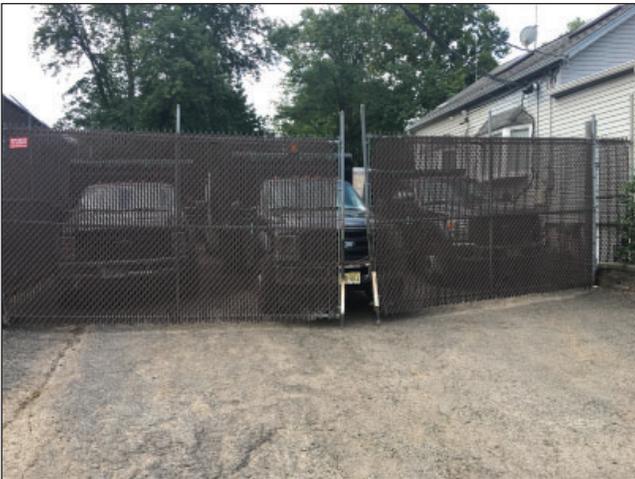


Image 7: East driveway entrance.



Image 8: West driveway on Prospect Place, with debris within the public right of way of way.



Image 9: West driveway entrance with landscape and hardscape materials in concrete areas, depicting sediment and gravel and no control measures.



Image 10: West driveway on Prospect Place, with trash bin and debris in the public right of way.

Borough Records Concerning Enforcement Actions at the Subject Property:

PD Case Search List

Block 1207 / Lot 9

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
12/31/1999 15:58	9914762	ALARIN, SEAN LYONS (COMPLAINANT) / HILLSDALE FIRE DEPARTMENT (OTHER) / LANDSCAPING, RAYMOND BROTHERS (OWNER) / RAYMOND, SCOTT D (OTHER)	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER) / SCORNIATO, JOHN (SECONDARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4017 / Fire Call Request for F.D.	PENDING	05/18/2015		SUPER USER
12/31/1999 10:27	9914760	ALARIN, SEAN LYONS (COMPLAINANT) / HILLSDALE FIRE DEPARTMENT (OTHER) / LANDSCAPING, RAYMOND BROTHERS (OWNER) / RAYMOND, SCOTT D (OTHER)	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER) / SCORNIATO, JOHN (SECONDARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4017 / Fire Call Request for F.D.		12/31/1999		SUPER USER
08/31/1999 03:12	9908481	DENBIELE, NANCY (COMPLAINANT) / LANDSCAPING, RAYMOND BROTHERS (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4013 / ODOR Complaint/Investigation		08/31/1999		SUPER USER
09/17/1999 07:13	9903318	LANDSCAPING, RAYMOND BROTHERS (OWNER) / STATION, CENTRAL (OTHER)	MCLAUGHLIN, DANIEL (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	6026 / False Alarm - Nonresid (Day)	PENDING	06/18/2015		SUPER USER
08/19/1999 08:43	9909240	LANDSCAPING, RAYMOND BROTHERS (OWNER)	SMITH, THOMAS (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	2921 / E-911/Dispatch/Notification		08/19/1999		SUPER USER
08/19/1999 12:21	9909246	LANDSCAPING, RAYMOND BROTHERS (OWNER)	WICKEVER, BRIAN (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	1210 / Notifications		08/19/1999		SUPER USER

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08/14/1999 03:18	9909170	LANDSCAPING, RAYMOND BROTHERS (OWNER) / SECURITY, LYONS COMPLAINT	DONALDSON, CHRIS (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	0525 / False Alarm - Nonresid (Day)		08/14/1999		SUPER USER
08/09/1999 23:54	9909044	HILLSDALE FIRE DEPARTMENT (OTHER) / LANDSCAPING, RAYMOND BROTHERS (OWNER) / SECURITY, LYONS COMPLAINT	FRANCAVIGLIA, ROBERT (SECONDARY) (OFFICER) / SMITH, THOMAS (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	2922 / False Alarm - Fire		08/09/1999		SUPER USER
08/02/1999 19:22	9908790	HILLSDALE FIRE DEPARTMENT (OTHER) / LANDSCAPING, RAYMOND BROTHERS (OWNER) / SECURITY, LYONS COMPLAINT	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER) / MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) / SMITH, THOMAS (SECONDARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4017 / Fire Call Request for F.D.		08/02/1999		SUPER USER
11/10/1997 07:12	9711156	MC DOWELL, SCOTT E (COMPLAINANT)	MC DOWELL, SCOTT E (COMPLAINANT)	55 PROSPECT PL, HILLSDALE, NJ	5510 / Other Animal Complaint	PENDING	05/18/2015		SUPER USER
11/03/1997 12:45	9711819	LANDSCAPING, RAYMOND BROTHERS (OWNER) / COMPLAINT, TAYLOR, DE B (DEFENDANT)	MEDO, MICHAEL (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	1110 / Bad Check - Fraud		11/03/1997		SUPER USER
02/14/1997 11:00	9701500	LANDSCAPING, RAYMOND BROTHERS (OWNER) / SECURITY, LYONS COMPLAINT	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	2940 / Mun. Ord. Vio. Other Nonresid		02/14/1997		SUPER USER
02/10/1997 08:22	9701500	LANDSCAPING, RAYMOND BROTHERS (OWNER) / SECURITY, LYONS COMPLAINT	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	2940 / Mun. Ord. Vio. Other Nonresid		02/10/1997		SUPER USER

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01/13/1997 23:18	9707071	HILLSDALE FIRE DEPARTMENT (OTHER) / LANDSCAPING, RAYMOND BROTHERS (OTHER)	PARENTI, FABIO (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4010 / Fire Call Request for F.D.		01/13/1997		SUPER USER
01/23/1997 20:45	9709000	VARGAS, ALMA (COMPLAINANT) / VARGAS, JOSE (COMPLAINANT) / UNKNOWN (SECONDARY)	CARTY, JOHN F (OFFICER) / HANDEK, PAUL (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	2462 / Domestic Family Dispute	CLEARED BY ARREST ADULT	01/23/1997		SUPER USER
12/03/1996 07:18	9612120	LANDSCAPING, RAYMOND BROTHERS (DEFENDANT) / LANDREAU (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	9026 / False Alarm - Nonresid (Day)		12/03/1996		SUPER USER
07/08/1996 05:40	9609091	LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	9025 / False Alarm - Nonresid (Day)		07/08/1996		SUPER USER
06/22/1996 15:16	9608439	COSTELLO, RICHARD (OTHER) / LOS POLICE DEPT (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	1012 / Notifications		06/22/1996		SUPER USER
05/03/1996 00:00	9605073	HILLSDALE AMBULANCE CORP (COMPLAINANT) / HILLSDALE FIRE DEPARTMENT (OTHER) / LANDSCAPING, RAYMOND BROTHERS (OTHER) / COMPLAINT, RAYMOND, SCOTT D (OWNER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER) / STUCKEY, PAUL (SECONDARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4010 / Fire Call Request for F.D.		05/03/1996		SUPER USER

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05/15/1996 23:48	9606009	HILLSDALE FIRE DEPARTMENT (OTHER) / LANDSCAPING, RAYMOND BROTHERS (OTHER) / RAYMOND, SCOTT D (OTHER)	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4010 / Fire Call Request for F.D.	PENDING	05/15/2015		SUPER USER
05/13/1996 22:31	9606007	LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	NOVAKOVICH, FRANK (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	0604 / False Alarm - Nonresid (Night)		05/13/1996		SUPER USER
05/09/1996 07:40	9604855	LANDSCAPING, RAYMOND BROTHERS (OWNER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	9022 / False Alarm - Residence (E911)		05/09/1996		SUPER USER
05/07/1996 17:59	9604837	LANDSCAPING, RAYMOND BROTHERS (OTHER)	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	9025 / False Alarm - Nonresid (Day)		05/07/1996		SUPER USER
04/12/1996 17:09	9603933	LANDSCAPING, RAYMOND BROTHERS (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	9025 / False Alarm - Nonresid (Day)		04/12/1996		SUPER USER
03/29/1996 02:21	9602720	LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	9024 / False Alarm - Nonresid (Night)		03/29/1996		SUPER USER
03/09/1996 23:30	9602588	LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	9024 / False Alarm - Nonresid (Night)		03/09/1996		SUPER USER
03/10/1996 09:36	9601804	FRESEYER, NANCY (COMPLAINANT) / LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	HARDER, PAUL (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4010 / Noise Complaint		03/10/1996		SUPER USER
01/12/1996 19:43	9600441	LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	FRANCAVIGLIA, ROBERT (PRIMARY) (OFFICER) / MELI, ROBERT (SECONDARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	0507 / False Alarm - Nonresid (Night)		01/12/1996		SUPER USER

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01/03/1996 02:22	9600061	DENBIELE, NANCY (COMPLAINANT) / LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	LEIGHTON, PETER (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4016 / Noise Complaint		01/03/1996		SUPER USER
12/10/1995 05:53	9601319	FRESEYER, NANCY (COMPLAINANT) / LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	MCLAUGHLIN, DANIEL (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	4015 / Noise Complaint		12/10/1995		SUPER USER
09/19/1995 19:51	9603177		CARTY, JOHN F (SECONDARY) (OFFICER) / MEDO, MICHAEL (SECONDARY) (OFFICER) / STUCKEY, PAUL (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ	2461 / Dispatch Other Types		09/19/1995		SUPER USER
04/18/2018 18:37	2018-0146	RAYMOND, SCOTT D (OWNER)	KAPLAN, ALEX (OFFICER) / ROONEY, COREY (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ 07642 (HOME) / 8 COTTAGE PLACE, HILLSDALE, NJ 07642-1908 (HOME)	ALARMS FIRE	CLOSED	04/17/2018		ROONEY, COREY
03/08/2018 10:24	2018-0258	HOLEVAS, VARDIS (OWNER) / CONSTRUCTION, RAYMOND (OTHER) / LANDSCAPING, RAYMOND, SCOTT M (DRIVER)	SOLTES, MATTHEW (PRIMARY) (OFFICER)	1223 KEMMERTON LN, BOWIE, MD 20715 (11 CATHY RD, HILLSDALE, NJ 07642 (HOME) / 404 98TH PL, FLUSHING, NY 11358 (HOME) / 56 PROSPECT PL, HILLSDALE, NJ 07642 (STREET) / 8 COTTAGE PL, HILLSDALE, NJ 07642-1908 (HOME)	MV ACCIDENT NO INJURIES	CLOSED	03/27/2018		SOLTES, MATTHEW
03/04/2018 06:17	2018-0188	BERNANDEZ, VARGAS, ISABELI (OTHER)	SOLTES, MATTHEW (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ 07642 (STREET) / 56 PROSPECT PL, HILLSDALE, NJ 07642-2048 (HOME)	ALARM (BURGLARY OR HOLDUP) NON RESIDENCE	FALSE ALARM BURGLARY	03/04/2018		SOLTES, MATTHEW

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12/28/2017 08:36	2017-1118		DONALDSON, CHRIS (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ 07642 (STREET)	ALARMS BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	12/27/2017		DONALDSON, CHRIS
08/08/2017 07:38	2017-07167		MOORE, FRANK L (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ 07642 (STREET)	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	08/08/2017		MOORE, FRANK L
09/11/2017 09:25	2017-05448		BERGEN TOWNSHIP (SECONDARY) (OFFICER) / SAYERS, GAYE (SECONDARY) (OFFICER) / ZIMMERMAN, IZ J (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ 07642 (STREET)	WARNANTS- OTHER AGENCIES	CLOSED	09/11/2017		ZIMMERMAN, IZ J
03/17/2017 08:15	2017-02849		MAZZEO, JOSEPH (PRIMARY) (OFFICER)	55 Prospect Pl, Hillsdale, NJ 07642	ALARM BURGLARY OR HOLDUP NON RESIDENCE	FALSE ALARM BURGLARY	03/17/2017		MAZZEO, JOSEPH
03/08/2017 17:27	2017-02262		CAMPOREALE, MICHAEL (SECONDARY) (OFFICER) / ROONEY, COREY (SECONDARY) (OFFICER)	55 Prospect Pl, Hillsdale, NJ 07642	ALARMS (FIRE ALARMS)	FALSE ALARM FIRE	03/04/2017		CAMPOREALE, MICHAEL
11/12/2016 03:25	2016-05483		ROONEY, COREY (SECONDARY) (OFFICER) / ZIMMERMAN, IZ J (PRIMARY) (OFFICER)	55 PROSPECT PL, HILLSDALE, NJ 07642	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	11/12/2016		ZIMMERMAN, IZ J
10/10/2016 07:49	2016-05035		CAMPOREALE, MICHAEL (PRIMARY) (OFFICER) / ROONEY, COREY (SECONDARY) (OFFICER)	55 Prospect Pl, Hillsdale, NJ 07642 / 55 PROSPECT PL, HILLSDALE, NJ 07642 (BUSINESS)	ALARM BURGLARY OR HOLDUP NON RESIDENCE	FALSE ALARM BURGLARY	10/10/2016		CAMPOREALE, MICHAEL

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02/12/2018 10:36	2016-21137	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	68 PROSPECT PL HILLSDALE, NJ 07642	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	09/20/2018		CAMPORALE, MICHAEL
04/23/2018 17:09	2016-03334	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ 07642	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	04/23/2018		CAMPORALE, MICHAEL
04/23/2018 14:11	2016-03332	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ 07642	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	04/23/2018		CAMPORALE, MICHAEL
04/11/2018 16:12	2016-02102	DECELA, GERMAN (PRIMARY) (OFFICER)	DECELA, GERMAN (PRIMARY) (OFFICER)	55 Prospect Pl Hillsdale, NJ 07642	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	04/11/2018		DECELA, GERMAN
11/07/2018 07:33	2016-10134	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	55 Prospect Pl Hillsdale, NJ 07642	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	11/07/2018		CAMPORALE, MICHAEL
10/26/2018 18:38	2016-06654	BERGER, ANTONETT (OTHER)	CAMPORALE, MICHAEL (PRIMARY) (OFFICER)	172 PARK AVE PARK RIDGE NJ 07652-2421 55 Prospect Pl Hillsdale, NJ 07642	SUBSIDIOUS AUTO GENERAL POLICE	CLOSED	10/26/2018	View Documents	CAMPORALE, MICHAEL
03/26/2018 17:11	2015-02911	KONIGSON, BRIAN (SECONDARY) (OFFICER) SAYERS, DAVE (PRIMARY) (OFFICER)	KONIGSON, BRIAN (SECONDARY) (OFFICER) SAYERS, DAVE (PRIMARY) (OFFICER)	55 Prospect Place, Hillsdale, NJ 07642	ALARM BURGLARY OR HOLDUP RESIDENCE	FALSE ALARM	02/28/2018		SKAG, ANDREW
02/01/2018 16:14	2015-01102	RAYMOND, SCOTT D (OWNER)	ZIMMERMAN, LIZ J (OFFICER)	55 Prospect Pl, Hillsdale, NJ 07642 14 COTLEUX PLACE HILLSDALE, NJ 07642-1035 (HOME)	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	02/01/2018		VERONESI, ALEXANDRA

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual SFS Type	Case Disposition	Closed Date	View Documents	Posted By
06/06/2014 09:26	1406841	HILLDALE AMBLANCE CORP CAREGIVER	BUESSE, M (PRIMARY) (OFFICER) RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance		06/06/2014		SUPER USER
07/27/2014 19:49	1408031	MCLAUGHLIN, DANIEL (OFFICER)	MCLAUGHLIN, DANIEL (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0601 / False Alarm -Narcosis (Day)		07/27/2014		SUPER USER
07/13/2014 07:38	1407433	ALARM, SEAN LYONS (OTHER) LANDSCAPING, RAYMOND BROTHERS (OWNER)	BUESSE, M (SECONDARY) (OFFICER) MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER) RODRIGUEZ, LIZ J (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0609 / False Alarm -Narcosis (Day)		07/13/2014		SUPER USER
03/04/2014 18:18	1402220	BECHTEL, PALLI (OTHER) LANDSCAPING, RAYMOND BROTHERS (OWNER)		55 PROSPECT PL HILLSDALE, NJ	7811 / Knox Box Key (Revised-Restore)		03/04/2014		SUPER USER
12/29/2013 08:17	1319350	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	SAYERS, DAVE (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0606 / False Alarm -Narcosis (Day)		12/29/2013		SUPER USER
12/08/2013 03:15	1313528	LANDSCAPING, RAYMOND BROTHERS (OWNER)	KAPLAN, ALEX (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		12/08/2013		SUPER USER
12/08/2013 02:12	1313523	LANDSCAPING, RAYMOND BROTHERS (OWNER)	KAPLAN, ALEX (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		12/08/2013		SUPER USER

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12/07/2013 02:52	1315480	ALARM, SEAN LYONS (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		12/07/2013		SUPER USER
12/03/2013 01:22	1315487	ALARM, SEAN LYONS (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		12/03/2013		SUPER USER
11/08/2013 07:57	1211227	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	MCQUEEVER, BRIAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		11/08/2013		SUPER USER
10/06/2013 18:38	1204774	ALARM, SEAN LYONS (OTHER) LANDSCAPING, RAYMOND BROTHERS (OWNER)	FRANCAGLIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		10/06/2013		SUPER USER
09/07/2013 16:09	1204628	LANDSCAPING, RAYMOND BROTHERS (OTHER)	MCLAUGHLIN, DANIEL (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / Alarm not in service		09/07/2013		SUPER USER
08/20/2013 06:35	1204559	LANDSCAPING, RAYMOND BROTHERS (OWNER)		55 PROSPECT PL HILLSDALE, NJ	7508 / Fire Alarm -Out of Service		08/20/2013		SUPER USER
08/12/2013 15:04	1207741	RAMIREZ, DONALDO (DEFENDANT) WOODCLIFF LAKE POLICE DEPARTMENT (OTHER)	MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7504 / Fire Police Dept. Alarm		08/12/2013		SUPER USER
04/28/2013 19:40	1303972		CRUZ, RAMON (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)	PENDING	04/28/2018		SUPER USER
11/05/2011 20:08	1111488		SAYERS, DAVE (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		11/05/2011		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual SFS Type	Case Disposition	Closed Date	View Documents	Posted By
08/20/2011 19:37	1106565	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	CRUZ, RAMON (SECONDARY) (OFFICER) SMITH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)	PENDING	08/20/2018		SUPER USER
08/12/2011 15:23	1103446		ANDERMEYER, JEFFREY (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		08/12/2011		SUPER USER
08/10/2011 13:22	1106165	HILLDALE AMBLANCE CORP CAREGIVER	FRANCAGLIA, ROBERT (OFFICER) MAZZEO, JOSEPH (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance		08/10/2011		SUPER USER
07/04/2011 02:21	1108981	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	ANDERMEYER, JEFFREY (SECONDARY) (OFFICER) FRANCAGLIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		07/04/2011		SUPER USER
08/12/2011 07:55	1105739	ALARM, SEAN LYONS (OTHER) LANDSCAPING, RAYMOND BROTHERS (OWNER)	CRUZATO, JOHN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		08/12/2011		SUPER USER
08/01/2011 14:00	1105338	AMBLANCE CORP CAREGIVER	HAMPTON, ADAM R (PRIMARY) (OFFICER) MAZZEO, JOSEPH (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance		08/01/2011		SUPER USER
05/03/2011 20:52	1104037	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OTHER) RAYMOND, SCOTT D (OTHER)	ARK, CAMERON (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		05/03/2011		SUPER USER

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04/11/2011 17:57	1103665		ARK, CAMERON (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		04/11/2011		SUPER USER
04/11/2011 08:52	1103267	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	RODRIGUEZ, LIZ J (SECONDARY) (OFFICER) CRUZATO, JOHN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		04/11/2011		SUPER USER
03/23/2011 07:35	1102914	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		03/23/2011		SUPER USER
03/19/2011 07:27	1102783	LANDSCAPING, RAYMOND BROTHERS (OWNER) SAYERS, DAVE (OTHER)	SAYERS, DAVE (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		03/19/2011		SUPER USER
02/20/2011 19:19	1101988		SMITH, THOMAS (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		02/20/2011		SUPER USER
10/06/2010 10:32	1010107	LANDSCAPING, RAYMOND BROTHERS (COMPLAINANT)	DONALESON, CHRIS (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	8007 / INCIDENT HIT & RUN		10/06/2010		SUPER USER
07/24/2010 13:37	1007470	ALARM, SEAN LYONS (OTHER) LANDSCAPING, RAYMOND BROTHERS (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		07/24/2010		SUPER USER
07/19/2010 18:39	1007306	ALARM, SEAN LYONS (COMPLAINANT)	MCQUEEVER, BRIAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		07/19/2010		SUPER USER
05/09/2010 19:15	1004610	LANDSCAPING, RAYMOND BROTHERS (OWNER)	DIEDRICH, JR., WILLIAM (PRIMARY) (OFFICER) MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		05/09/2010		SUPER USER

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10/23/2009 15:43	0910619	ALARM, SEAN LYONS (COMPLAINANT)	ARK, CAMERON (PRIMARY) (OFFICER) DIEDRICH, JR., WILLIAM (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0505 / False Alarm -Narcosis (Day)		10/23/2009		SUPER USER
08/03/2009 20:21	0907943	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		08/03/2009		SUPER USER
07/24/2009 19:29	0907571	AMBLANCE (WESTWOOD CAREGIVER)	MUHAMMAD, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance	PENDING	08/18/2018		SUPER USER
04/10/2009 21:13	0903575	LANDSCAPING, RAYMOND BROTHERS (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		04/10/2009		SUPER USER
02/24/2009 04:44	0901959	DENIBLE, NANCY (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	SAYERS, DAVE (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4015 / Noise Complaints		02/24/2009		SUPER USER
02/07/2009 04:21	0901372	DENIBLE, NANCY (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (DEFENDANT)	ANDERMEYER, JEFFREY (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4015 / Noise Complaints		02/07/2009		SUPER USER
02/04/2009 08:27	0901163	LANDSCAPING, RAYMOND BROTHERS (OTHER)	SMITH, THOMAS (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4015 / Noise Complaints	PENDING	08/18/2018		SUPER USER
01/05/2009 18:15	0900180	ALARM, SEAN LYONS (COMPLAINANT) LANDSCAPING, RAYMOND BROTHERS (OWNER)	HAMPTON, ADAM R (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	0504 / False Alarm -Narcosis (Night)		01/05/2009		SUPER USER

Borough of Hillsdale Investigation Study

55 Prospect Place Block 1207 Lot 9

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11/18/2018 08:15	0812072	HELLICA, PATRICK (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	8017 / Accident Hit & Run	PENDING	05/10/2019		SUPER USER
12/25/2018 13:00	0811883	HILLSDALE FIRE DEPARTMENT (OTHER) LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	NOVAKOVSKI, FRANK (OFFICER) SCORONDI, JOHN (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4116 / Fire Call Request for F.D.	PENDING	06/18/2019		SUPER USER
03/03/2019 11:01	0810751	RAYMOND, SCOTT (COMPLAINANT) TAMRIZ, CHRIS (OTHER)	SMITH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	9121 / Police Information	CLOSED	09/30/2018		SUPER USER
02/18/2019 15:46	0810289	COUNTRYSIDE (LAW ENFORCEMENT) LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) RAYMOND, SCOTT (COMPLAINANT)	DONALDSON, CHRIS (PRIMARY) (OFFICER) SMITH, SEAN (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	9616 / M.U. Control Street, Parking ETC		05/18/2018		SUPER USER
07/08/2018 11:10	0810483	HILLSDALE FIRE DEPARTMENT (OTHER) LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	HAMPTON, ADAM R (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4010 / Fire Call Request for F.D.		07/08/2018		SUPER USER
04/15/2018 07:57	0810479	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5001 / False Alarm - Noisest (Day)		04/18/2018		SUPER USER
08/07/2017 14:36	0798833	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) VETTOLO, JOHN (COMPLAINANT)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5008 / Lost Article	CLOSED	08/07/2017		SUPER USER
08/11/2017 06:41	0791726	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	AVANOSA, FREDERIC ROY (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5001 / False Alarm - Noisest (Day)		08/17/2017		SUPER USER

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08/05/2017 21:14	0796848	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER) KAVANAGH, SEAN (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5014 / False Alarm - Noisest (Night)		08/05/2017		SUPER USER
05/15/2017 18:30	0795437	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	SMITH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4310 / Fire Call Request for F.D.		05/15/2017		SUPER USER
04/23/2017 08:21	0794930	ALS (01) (CAREGIVER) GORDON, KEVIN (VICTIM) HILLSDALE AMBULANCE CORP (CAREGIVER) LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER) DIEDTRICH JR., WILLIAM (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance		04/23/2017		SUPER USER
03/15/2017 07:41	0792881	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		03/15/2017		SUPER USER
03/11/2017 14:43	0792820	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	BAYERS, DAVE (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4010 / Fire Call Request for F.D.		03/11/2017		SUPER USER
03/22/2016 18:05	0510139	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	HAMPTON, ADAM R (PRIMARY) (OFFICER) BAYERS, DAVE (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		03/22/2016		SUPER USER

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02/14/2018 18:35	0808862	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	SMITH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		02/14/2018		SUPER USER
05/25/2016 10:12	0805007	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)		55 PROSPECT PL HILLSDALE, NJ	7008 / Fire Alarm 100% of service		05/25/2016		SUPER USER
07/24/2016 05:10	0807913	RAYMOND, SCOTT (OTHER)	MCKEEVER, BRIAN (SECONDARY) (OFFICER) BAYERS, DAVE (PRIMARY) (OFFICER) SCORONDI, JOHN (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4022 / Suspicious Person		07/24/2016		SUPER USER
07/20/2016 09:00	0807774	COMPLIANCE (OTHER) HILLDALE CODE (OTHER) DARR, KEITH (OTHER) LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) STEER, JOHN (COMPLAINANT)	SMITH, THOMAS (SECONDARY) (OFFICER) AVANOSA, FREDERIC ROY (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4013 / ODOR Complaint/Investigation		07/20/2016		SUPER USER
11/14/2016 13:51	0811132	ALS (01) (CAREGIVER) HILLSDALE AMBULANCE CORP (CAREGIVER) LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) NOVAKOVSKI, FRANK (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance	PENDING	06/18/2019		SUPER USER
05/05/2016 18:33	0806418	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)		55 PROSPECT PL HILLSDALE, NJ	7008 / Fire Alarm 100% of service	PENDING	06/18/2019		SUPER USER
05/04/2016 17:59	0807913	RAYMOND, SCOTT (OTHER)	DIEDTRICH JR., WILLIAM (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5002 / False Alarm - Noisest (Day)		05/04/2016		SUPER USER

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07/29/2016 21:18	0807426	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	FRANCISVALIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5004 / False Alarm - Noisest (Night)		07/29/2016		SUPER USER
04/13/2016 07:38	0803882	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5001 / False Alarm - Noisest (Day)		04/13/2016		SUPER USER
12/19/2014 20:34	0413714	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	DIEDTRICH JR., WILLIAM (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5004 / False Alarm - Noisest (Night)		12/19/2014		SUPER USER
05/02/2014 10:02	0403444	BEICHEL, PAUL (COMPLAINANT)		55 PROSPECT PL HILLSDALE, NJ	7511 / Knox Box Key Returned/Restored		05/02/2014		SUPER USER
08/21/2014 12:17	0409109	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	DIEDTRICH JR., WILLIAM (PRIMARY) (OFFICER) DONALDSON, CHRIS (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		08/21/2014		SUPER USER
08/11/2014 16:38	0408113	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5002 / False Alarm - Noisest (Day)		08/11/2014		SUPER USER
07/20/2014 16:13	0407113	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) MALDONADO, MARIELE (OTHER)	MCKEEVER, BRIAN (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		07/20/2014		SUPER USER
02/27/2014 18:21	0405885	RAYMOND, SCOTT (OTHER)	MCLAUGHLIN, DANIEL (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		02/27/2014		SUPER USER

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04/25/2014 13:49	0404441	RAYMOND, TODD (COMPLAINANT)	FRANCISVALIA, ROBERT (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7011 / Assistance		04/25/2014		SUPER USER
04/25/2014 07:39	0403011	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) RAYMOND, SCOTT (OTHER)	SMITH, THOMAS (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5002 / False Alarm - Noisest (Day)		04/25/2014		SUPER USER
02/25/2014 11:55	0401450	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		02/09/2014		SUPER USER
01/15/2014 10:30	0401181	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) RAYMOND, TODD (OTHER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		01/15/2014		SUPER USER
01/14/2014 02:38	0400480	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) RAYMOND, TODD (OWNER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	7002 / BUS/Onsite (Officer Bill)	PENDING	06/18/2019		SUPER USER
12/25/2013 12:10	0313834	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		12/05/2013		SUPER USER
12/28/2013 17:51	0312298	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) RAYMOND, BELL AND BARBARA (OTHER)	FRANCISVALIA, ROBERT (PRIMARY) (OFFICER) MCKEEVER, BRIAN (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5004 / False Alarm - Noisest (Night)		12/28/2013		SUPER USER
03/29/2013 09:29	0310202			55 PROSPECT PL HILLSDALE, NJ	2834 / Fire Code (Alarm Ordinance)	PENDING	06/18/2019		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
05/25/2013 07:23	0307220	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	SMITH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		05/25/2013		SUPER USER
05/09/2013 10:14	0306931	BEICHEL, PAUL (COMPLAINANT)		55 PROSPECT PL HILLSDALE, NJ	9101 / Police Information		05/09/2013		SUPER USER
04/27/2013 05:23	0304707	LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5002 / False Alarm - Noisest (Day)		04/27/2013		SUPER USER
02/20/2013 21:42	0302904	MCDONNELL, SCOTT (COMPLAINANT)	FRANCISVALIA, ROBERT (PRIMARY) (OFFICER) RODRIGUEZ, LIZ J (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4022 / Suspicious Person		02/20/2013		SUPER USER
01/10/2013 23:09	0300284	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) OTHER MCDONNELL, SCOTT (OTHER)	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER) SMITH, SEAN (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	4010 / Fire Call Request for F.D.		01/10/2013		SUPER USER
11/24/2012 10:09	0212844	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT) MALDONADO, MARIELE (OTHER) RAYMOND, MARY K (OTHER) RAYMOND, SCOTT (OTHER) VARGAS, EDGAR (OTHER)	NOVAKOVSKI, FRANK (OFFICER) RODRIGUEZ, LIZ J (SECONDARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		11/24/2012		SUPER USER
10/14/2012 07:01	0211000	ALARM, SEAN LYONS COMPLAINT LANDSCAPING, RAYMOND (BROTHERS COMPLAINT)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	55 PROSPECT PL HILLSDALE, NJ	5005 / False Alarm - Noisest (Day)		10/14/2012		SUPER USER

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Owner: 67 Prospect
Place LLC
227 Doxey Drive
Park Ridge NJ 07656

Property Use:
Surface Parking

Zone District:
Industrial (I)

Property Acreage:
0.1331

Permitted Use:
No

Property Value:
According to the Borough of Hillsdale the assessed value for Block 1207 Lot 10:

- | | |
|-----------------------|------------|
| 1. Assessment: | \$ 136,600 |
| 2. Land Value: | \$ 129,600 |
| 3. Improvement Value: | \$ 7,000 |

Property Description:

This property is comprised of a surface parking lot that is approximately 50 feet wide by 116 feet deep and is predominantly made up of impervious surface with asphalt and gravel.

The property abuts the residential R-4 zoning district along the rear property line, which requires a minimum landscape buffer strip with planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District.
(Existing Zoning - Other Required Conditions and Supplementary Notes)

Access to the property was requested but was not granted. During several site visits as well as reviewing GIS and aerial photography, the required six foot buffer along the rear portion of the property was not observed. Along the front and on both sides of the property there is an approximately six foot chain linked fence.

The existing lot includes several trailers/sheds at the rear that along with the width of the property prevent

the large trucks from completing full movement turns within the property. This creates a situation where commercial vehicles either back into or out of the property onto Prospect Place. This was observed several times during site visits. Given the size of the vehicles, frequency of occurrence, this creates safety issues for non-commercial vehicles using the public streets.

The property has grading that slopes from the rear of the property towards Prospect Place. There was no site lighting observed on the property. The impervious surface drains directly on to the public right of way and into Prospect Street. Sediment, gravel and debris were observed in the public right of way and along the street at the driveway entrance to this property. The poor condition of the asphalt along the street at the driveway as evidenced by the deterioration would be consistent with freeze / thaw damage caused by water draining from the property into the public right of way. Given the condition of the asphalt is worse in this location from other locations in the public street, it would be less likely this was caused by drainage from the street.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records found two traffic violations/ motor vehicles accidents and one noise/odor complaint has occurred on this particular site. The property's full record from the Borough can be found after the site photos.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", which include:

- 1) The property includes large areas of landscape, hardscape and construction materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be

considered:

Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

"Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

As indicated this property does not require these provisions, however the lack of stormwater management represents a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property.

- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions which are detrimental to the health safety and welfare of the community.
- 3) Per Section 210-60, "Access to truck standing, loading and unloading space shall be provided directly from a public street or alley or from any right-of-way that will not interfere with public convenience and will permit orderly and safe movement of truck vehicles". During several site visits, commercial trucks were observed backing out of the property into the public right of way. This condition creates conflicts with other commercial vehicles within the public right of way, which is detrimental to the safety, health and welfare of the community, as evidenced by the significant number of motor vehicle violations for this property.
- 4) The area adjacent to the residential zoning district does not provide the required landscape buffer (Existing Zoning - Other Required Conditions and Supplementary Notes) which has a detrimental impact on the adjacent property owner;

5) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition can lead to flooding and overwhelming the existing storm water system.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1207 Lot 10 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Driveway entrance with commercial vehicles in the public right of way and sediment in the public street.



Image 2: Driveway entrance with sediment and water run-off from the property in the public street.



Image 3: Damage to the driveway apron area. Water run off with sediment in the public right of way. Commercial vehicles backed into the property.



Image 4: Commercial vehicles backed into the property.



Image 5: Sediment in the public right of way in front of the driveway.

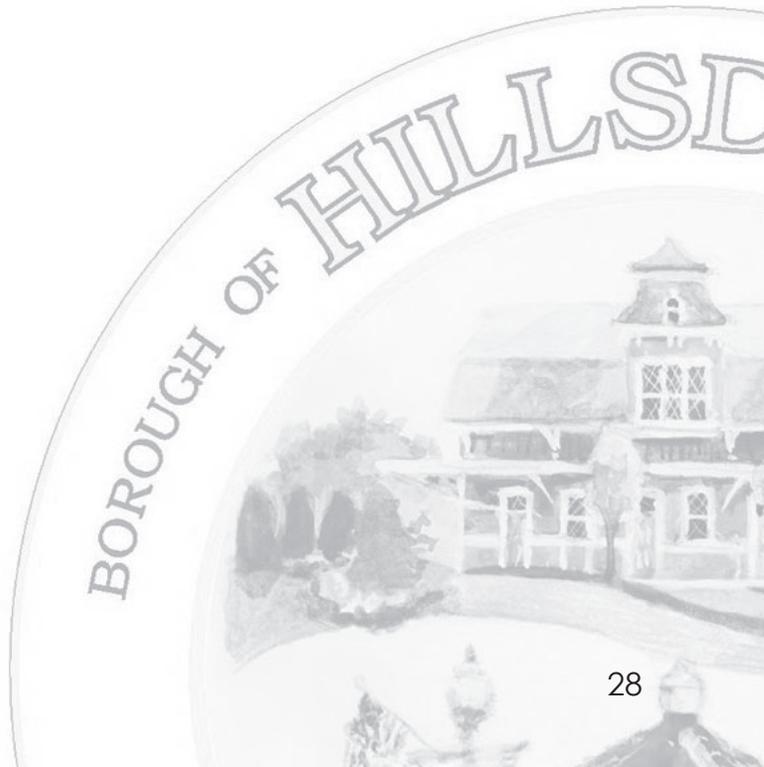


Image 5: Sediment in the public right of way in front of the driveway. Commercial vehicles parked facing public street.

PD Case Search List

67 1207/LOT 10

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual SCL Type	Case Disposition	Closed Date	View	Printed By
08/20/18 09:28	960412	B & D PAVINO, COMPLAINT (TYCO ANIMAL CONTROL SERVICE/ CAREGIVER)		67 PROSPECT PL, HILLSDALE, NJ	6512 / Other Animal Complaints	PENDING	05/10/2018		SUPER USER
09/03/18 15:52	9903704	DEROBLE, NANCY (COMPLAINANT)	NOVIKOWSKI, FRANK (PRIMARY) (OFFICER)	67 PROSPECT PL, HILLSDALE, NJ	4018 / Noise Complaints		09/03/18		SUPER USER
07/31/2016 15:45	1007703	DOVAL, VERONIC (LINE REPAIR WIRE/ OTHER) (GLASNER, DONALD) (COMPLAINANT)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	67 PROSPECT PL, HILLSDALE, NJ	4026 / Wires and Poles Down		07/31/2016		SUPER USER
04/17/2009 07:30	0803788	B & D PAVINO (COMPLAINANT)	FRANCISOLA, ROBERT (PRIMARY) (OFFICER)	67 PROSPECT PL, HILLSDALE, NJ	6610 / M.V. Comp. Speed, Parking ETC		04/17/2009		SUPER USER
10/13/2007 06:50	0711160	B & D PAVINO (COMPLAINANT) (MASCAPINO, RAYMOND) (DEFENDANT)	HAMPTON, ADAM R. (PRIMARY) (OFFICER)	67 PROSPECT PL, HILLSDALE, NJ	6610 / M.V. Comp. Speed, Parking ETC		10/13/2007		SUPER USER
04/13/2000 14:16	0603804	B & D PAVINO (OTHER) (RIVERDALE POLICE DEPARTMENT) (COMPLAINANT)	HAMPTON, ADAM R. (PRIMARY) (OFFICER)	67 PROSPECT PL, HILLSDALE, NJ	7610 / Notifications		04/13/2000		SUPER USER



Owner: Louis John
Ragusa
73 Prospect Place
Hillsdale, NJ 07642



Property Use:
Commercial

Zone District:
Industrial (I)

Property Acreage:
0.3329

Permitted Use:
Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1207 Lot 11:

1. Assessment:	\$ 679,300
2. Land Value:	\$ 405,000
3. Improvement Value:	\$ 274,300

Property Description:

This property is located at the corner of Prospect Place and Valley Street and is comprised of a two story commercial building with surface parking and a two bay garage that accesses directly on to Valley Street to accommodate the use.

The lot is predominantly comprised of impervious surface with impervious surface on all four sides, which includes asphalt on three sides and a concrete pad located on the other side of the building. The building comprises the remaining portions of the property and includes landscaped planted areas scattered around the building and along the streets. The rear portion of the property, which abuts a R4 zone includes a landscape buffer with evergreen trees.

The parking configuration is constrained with a one way access from the lot on Prospect Place to the egress on Valley Street. There is a pinch point, which measures approximately 12 feet in width from the parking space to the existing building.

The roof leader lines along the garage drain the water onto the asphalt parking at the side of the property, which based on the existing grades would flow either into the landscape area or directly onto Valley Street. In addition, during multiple site visits a large truck trailer was parked along the side of the building where the concrete area is located. There is surface parking located in front of the building, which may allow commercial trucks to maneuver within the property.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show that there have been several violations associated with this property. There have been eight (8) traffic violations/motor vehicle accidents, one noise/odor complaint and one gas leak/explosion. Additionally, the police department has been called to the site on several occasions for building checks and for criminal mischief.

Conclusion:

Given the inclusion of the residential buffer at the rear, lighting located on the building, the ability for vehicles to maneuver within the property without having to back into the public right of way, and the presence of landscape areas that allow stormwater run-off to be captured on site before entering into the stormwater system, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property not be designated.



Image 1: View from Prospect Place to driveway entrance and parking.



Image 2: Two-story building with truck trailer on the side. Includes sidewalk along Prospect Place.



Image 3: Second driveway entrance on Prospect Place with no sediment or debris in the public right of way.



Image 4: Parking and asphalt along side yard.

Borough of Hillsdale Investigation Study

73 Prospect Place Block 1207 Lot 11



Image 5: Garage located on Valley street with landscape planting and buffer areas adjacent to the R4 zone depicted.



Image 6: Two story office with parking in front of the building on Prospect Place.

Borough Records Concerning Enforcement Actions at the Subject Property:

Blk 1207/Lot 11

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFB Type	Case Disposition	Closed Date	View Documents	Posted By
11/17/1989 05:30	9913159	CLARE TRANSPORT INC (OWNER) HUGHES, E GARY (COMPLAINANT)	NEGO, MICHAEL (PRIMARY) (OFFICER)	171 MAGNOLIA AVE, HILSDALE BTH42 (HOME) 73 PROSPECT PLACE, HILSDALE, NJ	2472 / Harassment		11/17/1989		SUPER USER
09/04/1989 07:34	9908720	CLARE TRANSPORT INC (OWNER) HUGHES, E GARY (COMPLAINANT)	FARRELL, THOMAS (SECONDARY) (OFFICER) MOCKEYER, BRIAN (PRIMARY) (OFFICER) NEGO, MICHAEL (SECONDARY) (OFFICER)	171 MAGNOLIA AVE, HILSDALE BTH42 (HOME) 73 PROSPECT PLACE, HILSDALE, NJ	2481 / Anonym. Anonymous Phone Calls		08/04/1989		SUPER USER
07/28/1989 17:10	9906330	COENHEIM, ERIC/R (DEFENDANT) TORRES, MARGO (VICTIM)	HARDER, PAUL (PRIMARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ	0906 / SIMPLE ARREST-ADULT	CLEARED BY ARREST-ADULT	07/28/1989		SUPER USER
07/07/1989 20:05	9907841	HILSDALE FIRE DEPARTMENT (OTHER)	WEBSTER, TIMOTHY (OFFICER)	73 PROSPECT PL, HILSDALE, NJ	8101 / Police Information	PENDING	09/15/2015		SUPER USER
05/27/1989 07:33	9904870	BORRERS, BRIN (COMPLAINANT) COUNTRYSIDE PLUMBING (COMPLAINANT)	STUCKEY, PAUL (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	7006 / Leak Out, M.V., Sulf, Etc		05/27/1989		SUPER USER
03/10/1989 10:59	9903072	O'BRIELLY, TIMOTHY P (COMPLAINANT) MADUSA, LOUIS-JE (OWNER)	SCORDATO, JOHN (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	9616 / M.V. Complete Repair, Parking ETC		03/16/1989		SUPER USER
03/05/1989 05:00	9903449	SMITH, THOMAS (PRIMARY) (OFFICER)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	7902 / BURE CHAOS (Officer Intra.)		03/05/1989		SUPER USER
03/05/1989 05:18	9903443	SMITH, THOMAS (PRIMARY) (OFFICER)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	7902 / BURE CHAOS (Officer Intra.)		03/05/1989		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFB Type	Case Disposition	Closed Date	View Documents	Posted By
03/05/1989 04:05	9903447	SMITH, THOMAS (PRIMARY) (OFFICER)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1002 / BURE CHAOS (Officer Intra.)		03/05/1989		SUPER USER
03/05/1989 09:35	9903448	FRANCAGLIA, ROBERT (PRIMARY) (OFFICER)	FRANCAGLIA, ROBERT (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1002 / BURE CHAOS (Officer Intra.)		03/05/1989		SUPER USER
03/05/1989 02:08	9903442	SMITH, THOMAS (PRIMARY) (OFFICER)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1002 / BURE CHAOS (Officer Intra.)		03/05/1989		SUPER USER
03/05/1989 03:35	9903439	SMITH, THOMAS (PRIMARY) (OFFICER)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1002 / BURE CHAOS (Officer Intra.)		03/05/1989		SUPER USER
03/04/1989 07:59	9902420	CLARE TRANSPORT INC (OWNER) COUNTRYSIDE PLUMBING (OWNER) RAUBLA, LOUIS-JE (COMPLAINANT)	NEGO, MICHAEL (SECONDARY) (OFFICER) SCORDATO, JOHN (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1420 / Business Bldg, Crim/Misc	CLEARED BY ARREST-ADULT	03/04/1989		SUPER USER
03/03/1989 07:44	9902377	CLARE TRANSPORT INC (OWNER) CRIBBIN, MICHAEL (COMPLAINANT) O'BRIELLY, TIMOTHY P (COMPLAINANT)	NEGO, MICHAEL (SECONDARY) (OFFICER) SCORDATO, JOHN (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1420 / Business Bldg, Crim/Misc	CLEARED BY ARREST-ADULT	03/03/1989		SUPER USER
02/13/1989 05:32	9901888	CLARE TRANSPORT INC (OWNER) O'BRIELLY, TIMOTHY P (COMPLAINANT)	NEGO, MICHAEL (SECONDARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1420 / Business Bldg, Crim/Misc	PENDING	06/18/2015		SUPER USER
02/05/1989 22:23	9901747	PERFECT LMO SERVICE (OWNER)	FRANCAGLIA, ROBERT (PRIMARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ	7009 / Leak Out, M.V., Sulf, Etc		02/05/1989		SUPER USER
01/12/1989 10:21	9900387	CLARE TRANSPORT INC (OWNER) CRIBBIN, MICHAEL (COMPLAINANT) NEGO, MICHAEL (SECONDARY) (OFFICER)	LEIGHTON, PETER (PRIMARY) (OFFICER) CRIBBIN, MICHAEL (SECONDARY) (OFFICER) NEGO, MICHAEL (SECONDARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1420 / Business Bldg, Crim/Misc		01/12/1989		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFB Type	Case Disposition	Closed Date	View Documents	Posted By
12/31/1988 15:35	9812335	CLARE TRANSPORT INC (OTHER) KELLY, PATRICK C (DEFENDANT) O'BRIELLY, TIMOTHY P (COMPLAINANT)	NEGO, MICHAEL (PRIMARY) (OFFICER) STUCKEY, PAUL (SECONDARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ	9211 / Auto-Street Commercial Area	CLEARED BY ARREST-ADULT	10/31/1988		SUPER USER
12/17/1988 22:34	9812207	ALS 9011 (CAREGIVER) HILSDALE AMBULANCE CORP (CAREGIVER)	FRANCAGLIA, ROBERT (PRIMARY) (OFFICER) SMITH, THOMAS (SECONDARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ	7608 / Medical Assistance		12/17/1988		SUPER USER
12/17/1988 08:42	9812274	CLARE TRANSPORT INC (OWNER) CRIBBIN, MICHAEL (COMPLAINANT) O'BRIELLY, TIMOTHY P (COMPLAINANT)	FARRELL, THOMAS (SECONDARY) (OFFICER) NEGO, MICHAEL (SECONDARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1420 / Business Bldg, Crim/Misc		12/17/1988		SUPER USER
12/09/1988 19:23	9811545	CLARE TRANSPORT INC (VICTIM) LUKA, KIMBERLY M (DEFENDANT) MC KERANIN, TIFANNY (OTHER) PRESTAGE, JDI (COMPLAINANT)	LEIGHTON, PETER (PRIMARY) (OFFICER)	167 MAGNOLIA AVE, HILSDALE BTH42 (HOME) 73 PROSPECT PLACE, HILSDALE, NJ	2472 / Harassment		12/09/1988		SUPER USER
12/04/1988 18:44	9811819	CLARE TRANSPORT INC (COMPLAINANT)	LEIGHTON, PETER (PRIMARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ	2481 / Anonym. Anonymous Phone Calls		09/15/2015		SUPER USER
12/01/1988 19:29	9811714	CLARE TRANSPORT INC (OTHER) PRESTAGE, JDI (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	2451 / Anonym. Anonymous Phone Calls		12/01/1988		SUPER USER
11/07/1988 16:27	9811285	CLARE TRANSPORT INC (VICTIM) PRESTAGE, JDI (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	2481 / Anonym. Anonymous Phone Calls		11/18/1988		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFB Type	Case Disposition	Closed Date	View Documents	Posted By
12/15/2018 16:16	2018-1043	CONRADSON, CHRIS (PRIMARY) (OFFICER)	CONRADSON, CHRIS (PRIMARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ 07842	73 PROSPECT PL COMPLAINT	CLOSED	12/15/2018		DOUGLASSON, CHRIS
12/14/2018 15:28	2018-1042	CONSIDINE, BRIAN (PRIMARY) (OFFICER)	CONSIDINE, BRIAN (PRIMARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ 07842	TRAFFIC MV COMPLAINT	DONE ON APPEAL	12/14/2018		CONSIDINE, BRIAN
11/29/2018 15:28	2018-0828	SMITH, THOMAS (PRIMARY) (OFFICER)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ 07842	PARKING ENFORCEMENT	CLOSED- WORKING ISSUED	11/19/2018		SMITH, THOMAS
07/10/2014 14:27	1407380	LLC, DONEGALL (OTHER)	NORTON, RYAN (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	5008 / Leak Articles	CLOSED	07/10/2014		SUPER USER
02/10/2012 10:51	1281100	LLC, DONEGALL (OTHER)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	5200 / Straw Animals	PENDING	09/18/2015		SUPER USER
08/29/2010 21:55	1008684	CITYWIDE TOWING INC (OTHER) JAEGER, EDWARD D (OTHER) JAVOEN, JENNIFER L (OTHER) NELSON, ROBERT (DEFENDANT)	ARRI, CAMERON (PRIMARY) (OFFICER) GARTY, JOHN F (SECONDARY) (OFFICER) NELSON, ROBERT (DEFENDANT)	73 PROSPECT AVE, HILSDALE, NJ 07842	2111 / Alcohol Under the Influence	CLEARED BY ARREST-ADULT	08/29/2010		SUPER USER
11/23/2009 05:09	0911880	COUNTRYSIDE PLUMBING (OWNER)	DREDFRICH, JR, WILLIAM J (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	1420 / Business Bldg, Crim/Misc		11/23/2009		SUPER USER
06/22/2009 09:44	0595250	DURE, KEITH N (COMPLAINANT) PERRIN, OTHER	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	4912 / Open Loads and Collisions		06/22/2009		SUPER USER
02/10/2007 08:00	0713703	COUNTRYSIDE PLUMBING (COMPLAINANT)	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILSDALE, NJ	6410 / M.V. Complete Repair, Parking ETC		12/01/2007		SUPER USER
08/28/2004 02:23	0498073	MOCKEYER, BRIAN (PRIMARY) (OFFICER)	MOCKEYER, BRIAN (PRIMARY) (OFFICER)	73 PROSPECT PL, HILSDALE, NJ	4014 / Open Door/Wreck, Invest. of		08/28/2004		SUPER USER

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06/27/1909 06:50	0600106	CLAIRE TRANSPORT (NCI (OWNER) COMPLAINT)	SMITH, THOMAS (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	2467 / Anonym Phone Calls		09/23/1908		SUPER USER
08/19/1908 11:37	0604411	CLAIRE TRANSPORT (NCI (COMPLAINANT))	NEGO, MICHAEL (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	0610 / \$200.00 & over auto parts etc		08/19/2018		SUPER USER
08/23/1908 13:55	0601868	CLAIRE TRANSPORT (NCI (COMPLAINANT))	HARDER, PAUL (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	1467 / All Other Complaints		08/23/1908		SUPER USER
07/24/1908 09:23	0607062	SEE RAY LACROIXE SERVICES (VICTIM) (CLAIRE TRANSPORT (NCI (OTHER) (COMPLAINANT))	EIGHTON, PETER (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	1422 / Business Bldg, Civic/Bldg, Motel		07/24/1908		SUPER USER
07/16/1908 09:01	0606102	COUNTRYSIDE PLUMBING (COMPLAINANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	9107 / Problem Information		07/16/1908		SUPER USER
04/03/1908 09:50	0604033		MAZZEO, JOSEPH (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	6616 / N.Y. Const. Speed, Parking ETC		04/29/1908		SUPER USER
04/09/1908 09:47	0603348	ZOLLA, FREDERICK H (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	0617 / ACCIDENT HIT & RUN		04/09/1908		SUPER USER
03/19/1908 09:20	0602816	CLAIRE TRANSPORT (NCI (OTHER) STATE RECOVERY AND SUBROGATION SERVICE (COMPLAINANT))		73 PROSPECT PLACE, HILLSDALE, NJ	4552 / Reassignment Of Auto		03/19/1908		SUPER USER
06/27/1907 03:28	0701114	BUTCH, JOHN (COMPLAINANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	2467 / Anonym Phone Calls		06/27/1907		SUPER USER

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12/19/1907 23:03	0701115	CLAIRE TRANSPORT (NCI (OWNER) (WHITE DONOR) (OTHER))	GARTY, JOHN F. (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	4021 / Damages/Property loss				SUPER USER
12/19/1906 11:15	0612697	JILKE, GIBBS (DEFENDANT) (CREELLY, TIMOTHY P (COMPLAINANT))	BUESSEER, ROBERT (SECONDARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	4023 / Disturbance		12/19/1906		SUPER USER
08/19/1906 08:40	0606373	FARRELL, JAMES M (COMPLAINANT)	NEGO, MICHAEL (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	0617 / \$200.00 & Over From Buildings		08/19/1906		SUPER USER
05/30/1906 08:47	0604787	ALTYFAYAL, GARDI (OTHER) (RODRIGA, LOUIS X (COMPLAINANT))	BUESSEER, ROBERT (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	6121 / Warnings, M.V. Verbal, URG.		05/30/1906		SUPER USER
11/10/1905 07:28	0606220	MAGLISA, LOUIS J (COMPLAINANT)	MAZZEO, JOSEPH (SECONDARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	0624 / \$200.00-\$500.00 Fm. Adm (Ex. 5)		11/10/1905		SUPER USER
08/19/1905 18:55	0601369	ALS ACU GARDOVER (VICTIM) (JAMBURANCE CORP (COMPLAINANT))	GARTY, JOHN F. (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	7008 / Medical Assistance		08/19/1905		SUPER USER
08/11/2017 08:22	2617-0719		BUESSEER, M (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ 07842 (STREET)	PARKING ENFORCEMENT		08/11/2017		BUESSEER, M
03/09/2017 08:22	2617-0234		ROONEY, COREY (PRIMARY) (OFFICER)	73 Prospect Pl Hillsdale, NJ 07842	PARKING ENFORCEMENT	UNFOUNDED	03/09/2017		ROONEY, COREY

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05/24/1907 12:43	0710023	BELL ATLANTIC NEW JERSEY (OTHER) (CLAIRE TRANSPORT (NCI (COMPLAINANT)) (CREELLY, TIMOTHY P (COMPLAINANT)) (REID, OTHER) (THOMPSON, ERNEST J (DRIVER))	HARDER, PAUL (OFFICER) (FRANCIS, BRIAN (PRIMARY) (OFFICER))	73 PROSPECT PLACE, HILLSDALE, NJ	0614 / Accident Involving Dam, Prop.		06/24/1907		SUPER USER
06/30/1907 03:45	0708873	BERGEN COUNTY ROVER SQUAD (OTHER) (BERGEN POLICE DEPARTMENT (OTHER) (CLAIRE TRANSPORT (NCI (OTHER) (COUNTRYSIDE PLUMBING (OTHER) (VICTIM) (LISSETTE) (VICTIM) (BUTCH, JOHN (COMPLAINANT))	NEGO, MICHAEL (SECONDARY) (OFFICER) (KONKOWSKI, FRANK (SECONDARY) (OFFICER)) (STUCKEY, PAUL (PRIMARY) (OFFICER))	73 PROSPECT PL, HILLSDALE, NJ	0914 / Business Involving Business	UNFOUNDED	06/18/2015		SUPER USER
06/23/1907 04:06	0708762	ANDRIVE (NCI (OTHER) (BERGEN COUNTY ROVER SQUAD (OTHER) (BUTCH POLICE DEPARTMENT (COMPLAINANT)) (CLAIRE TRANSPORT (NCI (OTHER) (LMO PERFECT (OTHER) (PERFECT LMO SERVICE (VICTIM) (ROBBIE, GENIE (OTHER))	HARDER, PAUL (SECONDARY) (OFFICER) (MCNEEVER, BRIAN (PRIMARY) (OFFICER)) (MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER))	73 PROSPECT PL, HILLSDALE, NJ	0914 / Explosive Device/Business	UNFOUNDED	06/23/1907		SUPER USER
02/15/1907 18:30	0702948	CLAIRE TRANSPORT (NCI (COMPLAINANT)) (STRUBLE, DENARD (DEFENDANT))	FRANCAGLIA, ROBERT (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	1019 / Assistance		02/15/1907		SUPER USER

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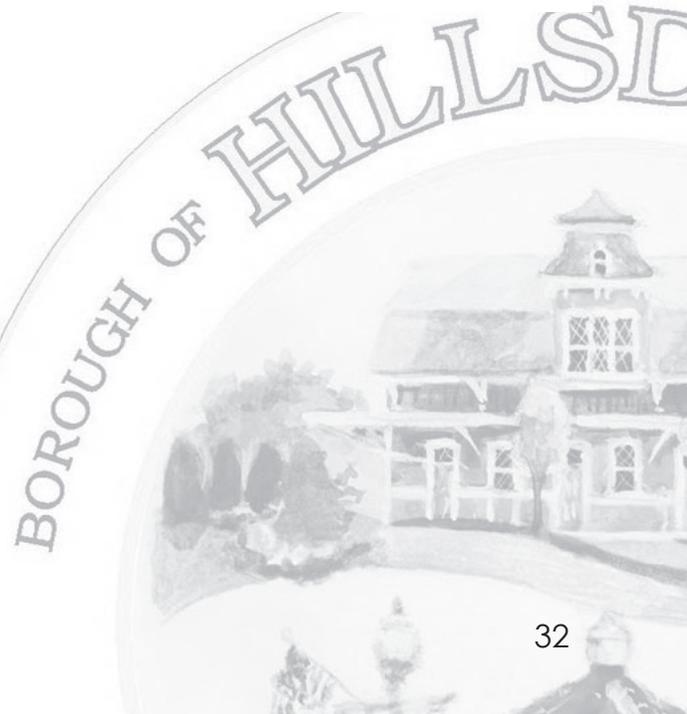
Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
01/15/2004 14:45	0430428	HILLSDALE JAMBURANCE CORP (CARISGIVER) (MULLINS, KRISTEN (VICTIM))	DONALDSON, CHRIS (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	7008 / Medical Assistance		01/15/2004		SUPER USER
10/06/2002 09:30	0211280	CLAIRE TRANSPORT (NCI (OTHER) (CREELLY, TIMOTHY P (COMPLAINANT))	MCNEEVER, BRIAN (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	1460 / Malicious Mislead to M.V.		10/06/2002		SUPER USER
04/03/2002 18:33	0208180	COUNTRYSIDE PLUMBING (OTHER) (DAVIS, MICHAEL J (DRIVER) (SMITH, THOMAS J (DRIVER) (PASANUS, POLICE DEPT (COMPLAINANT)) (VANICK, ERIC R (DRIVER))	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	0208 / Accident Involving Non-Injury		04/03/2002		SUPER USER
05/28/2002 05:56	0200908	CREELLY, TIMOTHY (COMPLAINANT)	GARTY, JOHN F. (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	7008 / Look Out, M.V. Bunk, Etc		05/28/2002		SUPER USER
07/10/2000 11:33	0607428	CLAIRE TRANSPORT (NCI (COMPLAINANT)) (CREELLY, TIMOTHY P (COMPLAINANT))	NEGO, MICHAEL (PRIMARY) (OFFICER)	73 PROSPECT PLACE, HILLSDALE, NJ	2472 / Harassment	CLOSED	06/19/2015		SUPER USER
02/24/2000 09:38	0002189	MEDELER, BIL SAND (DEFENDANT) (CLAIRE TRANSPORT (NCI (COMPLAINANT)) (HUGHES, E GARY (COMPLAINANT)) (MARBOR, TAREK (OTHER))	(SMITH, SCAN (SECONDARY) (OFFICER)) (SMITH, THOMAS (SECONDARY) (OFFICER)) (STUCKEY, PAUL (PRIMARY) (OFFICER))	171 MAGNOLIA AVE, HILLSDALE (TRAC (HOME) 73 PROSPECT PLACE, HILLSDALE, NJ	2680 / Trespassing		02/24/2000		SUPER USER
01/19/2000 08:39	0000555	HILLSDALE FIRE DEPARTMENT (OTHER) (HUGHES, E GARY (COMPLAINANT))	DONALDSON, CHRIS (PRIMARY) (OFFICER)	171 MAGNOLIA AVE, HILLSDALE (TRAC (HOME) 73 PROSPECT PLACE, HILLSDALE, NJ	4013 / ODROR Consideration/Investigation		01/19/2000		SUPER USER

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01/04/2000 05:37	0000114	PERFECT LMO SERVICE (OTHER) (BUTCH, JOHN (COMPLAINANT))	MCNEEVER, BRIAN (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ	0718 / Anonym Other/Parking Lots		01/04/2000		SUPER USER



Owner: 560 Piermont
Ave. LLC
107 Ivy Lane
River Vale, NJ 07675



Property Use:
Surface Parking

Zone District:
Industrial (I)

Property Acreage:
0.8732

Permitted Use:
Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 1:

1. Assessment:	\$ 562,600
2. Land Value:	\$ 540,400
3. Improvement Value:	\$ 22,200

Property Description:

This property (560 Piermont Avenue) is an asphalt surface parking lot with approximately +/-72 spaces located on the corner of Prospect Place and Piermont Avenue. The lot, which is approximately 185 feet wide and 200 feet deep, does not include any site lighting and has a total of two curb cuts located on Prospect Place and Piermont Avenue.

The lot is comprised of 100% impervious area with grass areas located at the perimeter of the property along the public right of way. Vehicles as well as large commercial and 18 wheeler trucks and trailers, boats and boat trailers as well as rusting construction materials were all observed within the property during several site visits. Gravel, broken up asphalt and sediment were observed in the streets and within the grass areas of the public right of ways surrounding the property.

From historic site photos, the lot appears to have included a refueling station with two pumps which are no longer located on the site. A six foot chain linked fence surrounds the perimeter of the property.

Borough Records Concerning Enforcement Actions at the Subject Property:

There were no records pertaining to this site for the Fire, Police and Building Departments.

Redevelopment Designation:

The nature of the property meets Criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The property includes large areas of landscape, hardscape and construction materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be considered:

Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

"Industrial stormwater exposed to source material. "Source material" means any material(s) or

machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

As indicated this property does not require these provisions, however the lack of stormwater management represents a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area." As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.

- 3) The other conditions that are detrimental to the health safety and welfare include the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding, which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 1 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: View along Prospect Place.



Image 2: Asphalt parking area during the week with limited vehicles.



Image 3: Asphalt parking area with commercial vehicles on weekend.



Image 4: Sediment and gravel run-off from asphalt parking through the public right of way along Prospect Place.



Image 5: Sediment and gravel run-off from asphalt parking through the public right of way along Piermont Avenue.



Image 4: Sediment and gravel run-off from asphalt parking through the public right of way along Prospect Place.



Image 7: Asphalt parking area with boats and commercial vehicles on weekend.



Image 8: Sediment and gravel run-off from asphalt parking along the driveway entrance on Piermont Avenue.

Owner: 74 Prospect Properties, LLC
15 Franklin St. Ste. C
Tenafly, NJ 07670



Property Use:

Warehouse

Zone District:

Industrial (I)

Property Acreage:

0.5739

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 2:

1. Assessment:	\$ 675,200
2. Land Value:	\$ 500,000
3. Improvement Value:	\$ 175,200

Property Description:

This property (74 Prospect Place) includes a one story building that has several different sections, which appears to be used for commercial and warehouse/garage uses. The property fronts on both Prospect Place and Piermont Avenue and there are a total of three curb cuts into the property with two on Prospect Place and one on Piermont Avenue.

The property is comprised of approximately 100% impervious surfaces including parking surrounding the building as well as the building itself. Along Piermont Avenue there are multiple areas sectioned off with large concrete barriers that have landscape and hardscape materials. There are no control or measures to prevent run-off from these storage areas into the public right of way and the storm water system. On the Piermont Avenue fence there is an opening/spillway located at the bottom of the concrete section to specifically allow run-off to go from the property into the public right of way and into the storm water system. (See images)

The lot is approximately 125 feet wide by 200 feet deep and the building is set back approximately 19 feet

from Prospect Place and 83 feet from Piermont Avenue. The property does not have any site lighting. Multiple trucks were located throughout the property with no significant delineation between the parking areas and the access drives.

Downspouts for the roof run directly onto the asphalt with no visible storm-water management measures. The buildings appear to be in poor condition evidenced by the presence of Tyvek insulation along the exterior facade as well as visible damage to multiple areas along the facade of the building. Access to the property was requested but was not granted.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations on the property. These include a traffic violation/ motor vehicle accident and a fire dept call/request. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The property includes large areas of landscape and hardscape materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. Along Piermont Avenue, a portion at the base of barrier has been removed to allow run-off from the site into the public right of way with no storm water measures located on the site. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be considered:

Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*

- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

"Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

As indicated this property does not require these provisions, however the lack of stormwater management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system

- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.
- 3) As it pertains to "other conditions, the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community. Given this property is adjacent to the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Driveway entrance with existing one story building.



Image 2: Existing one story building facade from Prospect Place depicting Tyvek insulation exposed.



Image 3: Driveway entrance at Prospect Place depicting facade repairs.



Image 4: Asphalt parking with construction and commercial vehicles.



Image 5: Driveway entrance with grades to the public right of way. Includes sediment build up in the street.



Image 6: Construction materials located directly on the asphalt area. Damage to protective bollard in the public right of way. Sediment and gravel in the street.



Image 7: Storage of materials on asphalt area. Sediment, gravel and potential chemicals visible on asphalt.



Image 8: Piermont Avenue frontage with spillway at landscape/hardscape bins to allow run off from asphalt area to the storm water system in the public right of way.



Image 9: Piermont Avenue frontage with spillway at landscape/hardscape bins to allow run off from asphalt area to the storm water system in the public right of way.



Image 10: Piermont Avenue frontage with spillway at landscape/hardscape bins to allow run off from asphalt area to the storm water system in the public right of way.



Image 11: Piermont Avenue frontage with masonry wall and raw materials coming over the top.



Image 12: Piermont Avenue frontage with masonry wall and raw materials coming over the top.

Borough Records Concerning Enforcement Actions at the Subject Property:

PD Case Search List

h/w 1008/LOT 2

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
09/20/1999 14:30	9510750			74 PROSPECT PL HILLSDALE, NJ	9101 / Police Information		06/25/1999		SUPER USER
08/13/1999 15:27	9503141	FINN'S AUTO BODY (OTHER) FINN, BOB (COMPLAINANT) MILIK, CHERYL (COMPLAINANT) SACCAMANO, MARTIN (OTHER) SACCAMANO, SCOTT (OTHER)	SMITH, SEAN (PRIMARY) (OFFICER)	74 PROSPECT PL HILLSDALE, NJ	9897 / Unsub 800.00-Firm Buildings		06/13/1999		SUPER USER
04/21/1998 13:58	9504393	FINN, BOB (COMPLAINANT) TYCO ANIMAL CONTROL SERVICE (OTHER)		74 PROSPECT PL HILLSDALE, NJ	9510 / Other Animal Complaints		04/21/1998		SUPER USER
01/30/1999 04:55	9501139	BUSBOS, JESSE (DEFENDANT) HEBELMAN, ED (DEFENDANT) O'REILLY, PETER (COMPLAINANT) SUTICH, JOHN (OWNER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	74 PROSPECT PL HILLSDALE, NJ	1429 / Business 888, Other/Mail Misch		01/30/1999		SUPER USER
11/05/1998 14:32	9410827	FINN, BOB (COMPLAINANT) RIGBARD, ARVI (DEFENDANT)	NEISO, MICHAEL (PRIMARY) (OFFICER)	74 PROSPECT PL HILLSDALE, NJ HEADQUARTERS	9855 / Theft of Services	CLEARED BY ADRES-ADULT	11/05/1998		SUPER USER
04/26/1998 01:34	9503938	FINN'S AUTO BODY (OTHER)		74 PROSPECT PL HILLSDALE, NJ	8810 / Other Animal Complaints		04/26/1998		SUPER USER
11/13/1997 16:25	9711900			74 PROSPECT PL HILLSDALE, NJ	9510 / Other Animal Complaints	PENDING	06/18/2015		SUPER USER
02/27/1998 15:15	9503703	MIRAJALIA, ROBERT (COMPLAINANT) TYCO ANIMAL CONTROL SERVICE (OTHER)	PARENTE, FABIO (PRIMARY) (OFFICER)	74 PROSPECT PL HILLSDALE, NJ	9508 / Other Animal Bites		09/27/1998		SUPER USER

Friday, April 20, 2018 2:27:24 PM FRANCANGOLA, ROBERT Page 1 of 4

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
05/14/2018 00:47	2019-07423	ALJUBA, GENYTRUCE (OWNER) BRODER, KEITH M (OTHER)	BUESSE, M (PRIMARY) (OFFICER) MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER)	23 FOREST DRIVE, HILLSDALE, NJ 07864-1301 74 PROSPECT PL, HILLSDALE, NJ 07842	OPEN DOOR/WINDOW OVER GENERAL POLICE	CLOSED	09/10/2018		BUESSE, M
07/18/2013 21:51	1307586	BUCKAGE, CHARLES R (K) (OTHER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4220 / Suspicious Auto		07/18/2013		SUPER USER
04/30/2013 11:28	1304832	MATAMOROS, HECTOR (COMPLAINANT) MORRIS, CHRISTOPHER JI (DEFENDANT)	SAYERS, DAVE (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	2481 / Discards All Other Types		04/30/2013		SUPER USER
04/19/2013 22:01	1304177	API (OWNER) SCHROEDER, ROBERT (OWNER)	KAPLAN, ALEX (PRIMARY) (OFFICER) MCKEEVER, BRIAN (SECONDARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of		04/19/2013		SUPER USER
01/08/2013 08:25	1300251	COUNTRYSIDE PLUMBING BUSINESS) HILLSDALE FIRE DEPARTMENT (OTHER) HERSCHMAN REALTY GROUP (OTHER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	73 PROSPECT PL, HILLSDALE, NJ 07842 (H/CASE) 74 PROSPECT PL, HILLSDALE, NJ	4010 / Fire Call-Request for F.D.		01/08/2013		SUPER USER
12/14/2012 19:09	1212809	API, OWNER)		74 PROSPECT PL, HILLSDALE, NJ	9101 / Police Information	PENDING	06/18/2015		SUPER USER
07/25/2012 07:49	1207060	LANDSCAPING, RAYMOND BROTHERS (OWNER) LORICALCINO, ENRIQUE MOISE (DRIVER) PARAMUS POLICE DEPT (OTHER) SALMAN FREDERICK T (NE) (OWNER)	SAYERS, DAVE (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	9008 / Accident Involving Non-Injury		07/25/2012		SUPER USER

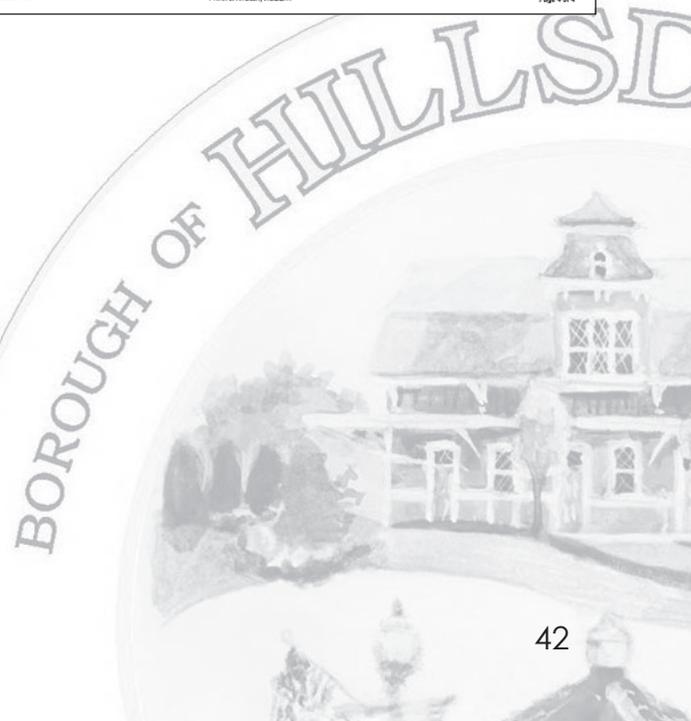
Friday, April 20, 2018 2:27:24 PM FRANCANGOLA, ROBERT Page 2 of 4

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
06/27/2012 04:43	1200173	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER)		74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of		06/27/2012		SUPER USER
12/21/2011 22:10	1112677	API (OTHER)	DIEDTRICH, JRL WILLIAM I (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of		12/21/2011		SUPER USER
06/02/2011 21:42	1109786		CRUZ, RAMON (OFFICER) SMITH, SEAN (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of	PENDING	06/18/2015		SUPER USER
09/10/2011 22:30	1108623	API OWNER) SCHROEDER, ROBERT (OTHER)	CARTY, JOHN F. (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of		09/10/2011		SUPER USER
07/15/2010 22:17	1007189	SCHROEDER, ROBERT (OWNER)	CARTY, JOHN F. (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of		07/15/2010		SUPER USER
09/10/2010 21:32	1004789	API OWNER) SCHROEDER, ROBERT (OTHER)	CARTY, JOHN F. (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of		09/10/2010		SUPER USER
10/27/2007 22:04	0711785	SCHROEDER, ROBERT (OWNER)	HAMPTON, ADAM R (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Windows, Invest. of		10/27/2007		SUPER USER
10/31/2005 00:44	0510664		FRANCANGOLA, ROBERT (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	9516 / M.V. Control-Speed, Parking ETC	PENDING	06/18/2015		SUPER USER
12/29/2002 14:45	0214690	FINN'S AUTO BODY (OTHER)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	5506 / Stray Animals		12/29/2002		SUPER USER
11/05/2002 14:06	0214481	NUSERY (COMPLAINANT)		74 PROSPECT PL, HILLSDALE, NJ	9101 / Police Information		11/05/2002		SUPER USER
09/09/2002 04:35	0210162	FINN, ROBERT K (OWNER)	HAMPTON, ADAM R (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	5506 / Stray Animals		09/09/2002		SUPER USER

Friday, April 20, 2018 2:27:24 PM FRANCANGOLA, ROBERT Page 3 of 4

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
01/18/2002 16:54	0300959	AMBULANCE, WESTWOOD CAREGIVER) RAYMOND, BILL AND BARBARA (VICTIM) RAYMOND, TODD (COMPLAINANT)	CARTY, JOHN F. (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	7058 / Medical Assistance		01/18/2002		SUPER USER
05/12/2001 08:53	0105028	FINN'S AUTO BODY (COMPLAINANT) PSEAL (OTHER) VERZON (OTHER)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	74 PROSPECT PL, HILLSDALE, NJ	4028 / Window and Glass Down		05/12/2001		SUPER USER

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Owner: 539 Piermont
Property LLC
539 Piermont Ave.
Hillsdale, NJ 07642



Property Use:

Office

Zone District:

Industrial (I)

Property Acreage:

0.4591

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 3:

1. Assessment:	\$ 453,800
2. Land Value:	\$ 400,000
3. Improvement Value:	\$ 53,800

Property Description:

This property (539 Piermont Avenue) includes a one story building being used as an office with two large roll up doors facing Prospect Place. The lot is approximately 100 feet wide by 200 feet deep and is a through lot with frontage and curb cuts on both Prospect Place and Piermont Avenue with parking for employees and commercial vehicles.

The building is set back approximately 145 feet from Prospect Place and 30 feet from Piermont Avenue. During site visits to the property, it was observed that a number of trucks parking in the side yard and along the front of the building facing Piermont Avenue. The 30 foot dimension between the building and the street, which includes parking, is not sufficient to allow vehicles to maneuver within the property without backing into or out of the public right of way and violates the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58).

In addition, there is an existing utility pole and guide wire located along the back of the existing curb with no barrier or encumbrance to prevent a vehicle from backing into either. The lack of depth, coupled

with the location and lack of safety measures for the utility pole and guy wire create an unsafe condition along the front of the building.

The property includes a significant number of landscape / hardscape materials that are stored on the asphalt area that are sectioned off with concrete barriers. There were no storm-water management control measures observed on site and sediment, gravel and other materials were observed in the public right of way and along the street in front of the property on both Prospect Place and Piermont Avenue.

In addition, the property is approximately 100% impervious with roof leader lines that drain directly onto the asphalt within the property. The impervious areas have grades that drain from the building to the public right of way, which cause run-off into the storm water system.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations on the property. These include a traffic violation/ motor vehicle accident and a municipal ordinance violation. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

- 1) The property includes large areas of landscape and hardscape materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be considered:

Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the*

requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.

In addition the requirements state:

“Industrial stormwater exposed to source material. “Source material” means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater”.

As indicated this property does not require these provisions, however the lack of stormwater management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. Per Section 310-107, “Industrial stormwater exposed to source material. “Source material” means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater”.

During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system

- 2) The area between the building and the public streets are insufficient and do not meet all of the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which create dangerous conditions that are detrimental to the safety, health and welfare of the community. The existing dimension between the building and Prospect Place is approximately 30 feet. The zoning states, “Parking areas shall not be closer than 10 feet from any street line”. (Section 310-58) This condition would leave approximately 20 feet for parking and a drive aisle. Drive aisles are required to be a minimum of 12 feet (Section 310.106) The Zoning code also states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4). There are no pedestrian safety measures, sidewalks, or buffer areas between the back of curb and the building.

Given the requirements for the parking, drive aisle and offset from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way which is dangerous to the health, safety and welfare of pedestrians. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 3) Per Section 310-113, “All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area”.

4) As it pertains to "other conditions, the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 3 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Head in parking along Piermont Avenue with no enough depth to allow vehicles to maneuver within the right of way.



Image 2: Head in parking along Piermont Avenue with wood placed in the public right of way to encourage vehicles to drive over the existing curb which has visible damage.



Image 3: Prospect Place entrance with commercial vehicles and sediment within the public right of way.



Image 4: Landscape bins on asphalt with no visible control measures. Large amount of sediment in the public right of way.



Image 5: Rusting construction materials and damage to the existing asphalt.



Image 6: Construction debris in the public right of way with sediment and gravel run off in the public right of way



Image 7: Construction materials and debris located on the asphalt parking area.



Image 8: Construction materials and debris located on the asphalt parking area.



Image 9: Storage areas for landscape materials spilling out onto the asphalt parking area.



Image 10: Storage areas for landscape materials spilling out onto the asphalt parking area adjacent to the public right of way on Prospect Place.



Image 11: Sediment in public right of way on Prospect Place.



Image 12: Asphalt parking from Prospect Place right of way.



Image 13: Asphalt parking from Prospect Place right of way.

Borough Records Concerning Enforcement Actions at the Subject Property:

PD Case Search List

Block 1208/Lot 3

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Involved / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
05/26/18 12:07	010448	BLY, JOHN R (DEFENDANT)	C. C. O. RHEBOLD, INSPECTOR (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	IS09 / Summons	PENDING	06/18/2018		SUPER USER
03/11/2013 14:43	1311612		SMITH, THOMAS (PRIMARY) (OFFICER)	539 PIERMONT AVE RIVER VALE, HILLSDALE, NJ	7564 / Other Police Dept. Assist to		03/21/2013		SUPER USER
09/23/2013 07:37	1300814	HILLSDALE AMBULANCE CORP (GARCOVER) HILLSDALE POLICE DEPARTMENT (OTHER)		539 PIERMONT AVE RIVER VALE, HILLSDALE, NJ	6312 / Vehicle, M.V. Verbal, Verbal	PENDING	06/18/2016		SUPER USER
12/14/2012 09:22	1212508			539 PIERMONT AVE, HILLSDALE, NJ	9401 / Public Information		12/14/2012		SUPER USER
07/21/2009 14:31	0907403	FABARIUS POLICE DEPT (OTHER)	ARIA, CAMERON (OFFICER) KAVANAGH, SEAN (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	4611 / 911 Abandoned Call street	PENDING	06/18/2015		SUPER USER
05/04/2009 08:41	0804400	CO. BENCIOLETTO BUSI CAMERON FABARIUS POLICE (COMPLAINANT)	DIEDYNCH, JR., WILLIAM (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	4611 / 911 Abandoned Call street		08/04/2009		SUPER USER
12/11/2008 07:33	0813493	FABARIUS POLICE DEPT (COMPLAINANT)	MAZZIO, JOSEPH (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	4611 / 911 Abandoned Call street		12/11/2008		SUPER USER
05/23/2009 08:52	0901191	CO. BENCIOLETTO BUSI CAMERON FABARIUS POLICE DEPT (COMPLAINANT)	NOVAKOVSKI, FRANK (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	4611 / 911 Abandoned Call street		05/23/2009		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Involved / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
10/05/2008 16:16	0610751	EUROCAR INC (DEFENDANT) LANGENKNECHT, HEINZ (DEFENDANT)	NAVEGA, HILDEBRAND KOY (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	1001 / Police Information		10/08/2008		SUPER USER
02/14/2008 16:39	0610158	EUROCAR INC (DEFENDANT) LANGENKNECHT, HEINZ (DEFENDANT)	SAYERS, DAVE (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	2640 / Mat. Dist. Via. Other Notice		09/21/2008		SUPER USER
09/14/2008 15:14	0609771	REAL ESTATE LLC J BELY (DEFENDANT)	CARTY, JOHN F. (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	6168 / Summons		09/11/2008		SUPER USER
08/30/2008 13:15	0608293	TORRES, ONDICI (DEFENDANT)	SAYERS, DAVE (PRIMARY) (OFFICER)	539 Piermont Ave, HILLSDALE, NJ	9266 / Rempt to serve		08/30/2008		SUPER USER
08/29/2008 16:17	0608250		SAYERS, DAVE (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	9214 / Local Other Warrants		08/29/2008		SUPER USER
07/18/2008 11:02	0607607	ACQUARIL, DOREEN (OTHER) EDWARDS, EDWARD J (OTHER) BERNARD, BRISTAN (OTHER) KATHARINE V (OTHER) JURIK, KEITH II (COMPLAINANT) EUROCAR INC (OTHER) JOHNS, ELIZABETH R (OTHER) MARANDOLA, BETHELLE (OTHER) MASUCCI, MARYANN (OTHER) MILLER, MICHAEL G (OTHER) OROSCHO, JOSEPH (DEFENDANT) STS. HIRSCH PRESBYTERIAN (OTHER)	DIEDYNCH, JR., WILLIAM (PRIMARY) (OFFICER)	539 PIERMONT AVE, HILLSDALE, NJ	1000 / All Other Agencies, Assist to		07/18/2008		SUPER USER

Owner: C.K.D. Inc
10 Stone Hollow Rd
Montvale, NJ 07645



Property Use:

Warehouse/Office

Zone District:

Industrial (I)

Property Acreage:

0.4614

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 4:

1. Assessment:	\$ 707,900
2. Land Value:	\$ 392,000
3. Improvement Value:	\$ 315,900

Property Description:

This property (115 Patterson Street) is located at the corner of Patterson Street and Prospect Place and includes a one story building that is approximately 75 feet by 104 feet surrounded by surface parking. The property includes a total of three curb cuts with two located off Prospect Place and one off Patterson Street. The main entrance to the one story building faces Patterson Street. The building is set back approximately 45'-0" from Patterson Street and 37'-0" from Prospect Place.

The property is comprised of 100% impervious surfaces with no visible storm-water management measures provided on-site. Roof leaders drain water directly on to the asphalt and across the asphalt parking with grades that drain from the building to the public right of way, which cause run-off into the storm water system with out any control measures. In addition, there are construction and raw materials that were observed on the site rusting on top of the asphalt parking lot.

Along Patterson Street the asphalt parking slopes away from the building and toward he street. The slopes

along the side of the building on Prospect Place are more severe in nature going away from the building toward the public right of way.

The property includes no sidewalks or landscape areas along either street and the asphalt parking area goes directly to the back of the curb, which is not permitted in the zoning ordinance. There are two utility poles located within the asphalt parking area with one on each street. Neither utility pole has any barriers, striping or safety measures to protect or identify the pole from vehicles. The guy wire for the utility pole located on Patterson Street has been destroyed and is no longer attached to the pole.

The rear portion of the property is also comprised of asphalt with some parallel parking along the rear property line. There are two exit doorways located at the rear of the building both with stairs, neither of which have any safety railings.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations on the property. These include a five different traffic violations/motor vehicle accidents. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The area between the building and the public streets are insufficient and do not meet all of the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which create dangerous conditions that are detrimental to the safety, health and welfare of the community. The existing dimension between the building is approximately 45'-0" from Patterson Street and 37'-0" from Prospect Place. The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). This condition is not met along either street frontage. In the best condition, it would leave approximately 35 feet of area and in the worst condition it would leave 27 feet of area for parking and a drive aisle. Drive aisles for head in parking are required to be a minimum of 18 feet (Section 310.106) The zoning code also states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4). The dimension between the building and the setback is not sufficient for vehicles to maneuver within the property lines and requires vehicles to back into the 10 foot public right of way where pedestrians would walk. There are no pedestrian safety measures, sidewalks, or buffer areas between the back of curb to the building. The entire area is asphalt. Given the requirements for the parking, drive aisle

and offset from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way which is dangerous to the health, safety and welfare of pedestrians. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 2) The property includes construction materials located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site.

Per Section 310-107, "Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

Although this property does not require these provisions given it's size, the lack of stormwater management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property.

During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system

- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property also lacks site lighting, which creates dangerous conditions that are detrimental to the safety, health and welfare of the community.
- 4) There are multiple egress doors at the rear of the building, which include stairs that do not have any protective railings, which is detrimental to the safety, health and welfare of the community. Given the lack of lighting this represents a safety issue.
- 5) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 4 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Construction materials on the asphalt parking area at the rear of the building.



Image 2: Rear door with step. No handrails or other protective measures.



Image 3: Construction materials on the asphalt parking area at the rear of the building.



Image 4: Construction materials on the asphalt parking area at the rear of the building.



Image 5: Head in parking along Patterson Street with utility pole. No sidewalks, buffers or pedestrian safety measures.



Image 6: Side yard along Prospect Place with asphalt and grading toward the public right of way. No sidewalks, lights or other pedestrian safety measures.



Image 7: Utility pole on Patterson Street with no protective measures from asphalt parking area.



Image 8: Previous guy wire destroyed and no longer attached to the utility pole.



Image 9: Parking area at the Patterson Street corner with no pedestrian safety measures.



Image 10: Asphalt area along the side of the building with unprotected utility pole.

Borough Records Concerning Enforcement Actions at the Subject Property:

BLK 1208/LOT 4

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTR Type	Case Disposition	Closed Date	View Documents	Posted By
04/29/1993 01:10	596382	UNMADE METALS INC (OTHER) (VALLEY MARION CC OWNER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ	2514 / Open 2000/1993oms, Inviol of		04/30/1993		SUPER USER
02/21/1998 01:03	5861750	UNMADE METALS INC (OTHER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ	9101 / Police Information		02/21/1998		SUPER USER
10/04/1998 12:29	8710391	UNMADE METALS INC (OWNER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ	8214 / Open 2000/1998oms, Inviol of		10/04/1998		SUPER USER
04/19/1997 12:59	8710347	FRANCANGOLIA, ROBERT (SECONDARY) (OFFICER) SCORPATO, JOHN (PRIMARY) (OFFICER)	FRANCANGOLIA, ROBERT (SECONDARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ	8214 / Open 2000/1997oms, Inviol of		04/19/1997		SUPER USER
05/25/2016 14:09	2016-03096	CAMPORISALE, MICHAEL (PRIMARY) (OFFICER)	CAMPORISALE, MICHAEL (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ 07642	PARKING ENFORCEMENT	CLOSED	06/06/2016		CAMPORISALE, MICHAEL
02/23/2016 09:53	2016-01480	RAYMOND, SCOTT M (OTHER)	WOODS, TRAVIS L (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ 07642 8 COTTAGE PL, HILLSDALE, NJ 07642-1542	PARKING ENFORCEMENT	CLOSED	02/23/2016	View Documents	WOODS, TRAVIS L
01/12/2014 14:48	2014-00396	CHMYT, PAUL W (OTHER)	NORTON, RYAN (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ 07642 25 CEDRON WILSON DRIVE, HILLSDALE, NJ 07642-1450	TRAFFIC ADV COMPLAINT	CLOSED	01/15/2014	View Documents	NORTON, RYAN

Friday, April 20, 2018 2:51:48 PM FRANCANGOLIA, ROBERT Page 1 of 2

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTR Type	Case Disposition	Closed Date	View Documents	Posted By
11/20/2018 11:11	2018-10816	DODDY, WILLIAM E (DEFENDANT) DUTRA, MICHAEL (COMPLAINANT)	WOODS, TRAVIS L (PRIMARY) (OFFICER)	10 STONE HOLLOW RD, MONTVALE, NJ 07063 115 PATTERSON ST, HILLSDALE, NJ 07642 (BUSINESS) 68 MERTY AVE, CLUMBERT, NJ 07828 (HOME)	PROPERTY DAMAGE REPORT	CLOSED	11/20/2018	View Documents	WOODS, TRAVIS L
06/12/2014 12:36	1406320	UNMADE METALS INC (OTHER)	SAVERS, DAVE (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ	7001 / Lock Out M.V., Bunk, Etc		06/13/2014		SUPER USER
06/20/2013 12:08	1389520	CAMPFALL, MICHELE A (DEFENDANT) UNMADE METALS INC (OWNER) VALLEY MARION CLUB (OFFICER) VALLEY, STEVEN (COMPLAINANT)	DONALDSON, CHRIS (PRIMARY) (OFFICER) FRANCANGOLIA, ROBERT (SECONDARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ HILLSDALE, HILLSDALE, NJ	1100 / FRAUD	CLEARED BY ARREST-ADULT	06/20/2013		SUPER USER
05/07/2010 17:40	1004624	DUTRA, MICHAEL (COMPLAINANT) BURDA, CATHY A (DEFENDANT)	SMITH, SEAN (PRIMARY) (OFFICER)	115 PATTERSON ST LOT, HILLSDALE, NJ 115 PATTERSON ST. HILLSDALE, NJ	6009 / Summons, Parking		05/07/2010		SUPER USER
09/20/2003 17:40	0301790	O'REILLY, TARDY P (COMPLAINANT) PRISAD, CHAN E (DEFENDANT) TRISOTE, RUSSELL (REMOVAL INC) (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ	6013 / M.V. Compt Speed, Parking ETC		09/20/2003		SUPER USER
09/19/2003 12:10	0304623	ALEBUI, CAREGIVER (COMPLAINANT) DRISFALL, THOMAS (VICTIM) HILLSDALE AVENUE CORP (CAREGIVER) HILLSDALE POLICE DEPT (COMPLAINANT)	COMMISSION, CHRIS (PRIMARY) (OFFICER) SCORPATO, JOHN (SECONDARY) (OFFICER)	115 PATTERSON ST. HILLSDALE, NJ	7001 / Medical Assistance		09/19/2003		SUPER USER
02/12/2002 08:42	0201720	BECHTEL, BRILL (COMPLAINANT)		115 PATTERSON ST. HILLSDALE, NJ	9101 / Police Information		02/12/2002		SUPER USER

Friday, April 20, 2018 2:51:48 PM FRANCANGOLIA, ROBERT Page 2 of 2

123 Patterson St.
Block 1208 Lot 5

February 2019



Owner: Phillip G.
Rodano
700 Summit Ave.
Hackensack, NJ 07601

Property Use:

Warehouse/Office

Zone District:

Industrial (I)

Property Acreage:

0.4132

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 5:

1. Assessment:	\$ 706,500
2. Land Value:	\$ 376,000
3. Improvement Value:	\$ 330,500

Property Description:

This property (123 Patterson Street) includes a one story building that is approximately 70'-0" by 104'-0" surrounded by surface parking. There are multiple curb cuts along Patterson Street and a 115' long curb cut along Piermont Ave. The building is set back approximately 31 feet from Patterson Street and 30 feet from Piermont Avenue.

The property is comprised of 100% impervious area with no visible storm-water management measures provided on-site. Roof leaders drain water directly onto the asphalt and across the parking areas into the public right of way.

The asphalt parking areas go from the building to the back of curb, which violates the zoning ordinance and there are no sidewalks or landscape areas along either street. There is one fire hydrant located in front of the building along Patterson Street and one utility pole with a guy wire along Piermont Avenue. The fire hydrant has a metal guard pole, which has been significantly damaged from the parking side. The utility pole does not have any barriers, striping or safety measures to protect or identify the pole from

vehicles and there is no site lighting on the property.

Head-in parking is located at the front of the building along Patterson Street and along the side of the building on Piermont Avenue. The dimension between the building facade and the back of curb for both streets are not sufficient to allow vehicles to maneuver adequately within the property line, nor do they meet the standard requirements for the drive aisle width. This configuration requires vehicles to maneuver within the public right of way along both streets.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations on the property. These include a traffic violation/ motor vehicle accident and an environmental protection agency (EPA) violation for pollution. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) The area between the building and the public streets are insufficient and do not meet all of the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which create dangerous conditions for vehicles and pedestrians, which are detrimental to the safety, health and welfare of the community. Asphalt parking is located from the building facade to the back of curb which violates the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). The existing dimension between the building is approximately 31'-0" from Patterson Street and 30'-0" from Piermont Avenue. In the best condition, it would leave approximately 28 feet and in the worst condition it would leave 20 feet for parking and a drive aisle based on the 10 foot setback requirement. Drive aisles for head in parking are required to be a minimum of 18 feet (Section 310.106)

The Zoning code also states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4). The remaining dimension is not sufficient for vehicles to maneuver within the property right of way which creates dangerous conditions for both pedestrians and vehicles, especially considering there are no pedestrian safety measures, sidewalks, or buffer areas between the back of curb to the building.

Given the requirements for the parking, drive aisle and offset from a public street the layout represents a faulty arrangement, as well as, an obsolete layout evidenced by damage to the damaged bollards adjacent to the existing fire hydrant. The limited dimension requires vehicles to back into the public

right of way, which is dangerous to the health, safety and welfare of pedestrians. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 2) The property includes construction materials located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site.

Per Section 310-107, "Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

Although this property does not require these provisions given it's size, the lack of stormwater management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system

- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area".
- 4) Egress doors at the rear of the building, do not include safety lighting and open directly on to the asphalt without any area of refuse or other safety measures. This condition coupled with the lack of lighting creates a dangerous condition that is detrimental to the safety, health and welfare of the community.
- 5) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 5 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Commercial vehicles parked head in along Piermont Avenue within the public right of way.



Image 2: Parking area along Patterson Street with vehicles in the public right of way. No sidewalks or pedestrian safety measures. Damage to bollard protecting the fire hydrant.



Image 3: Roof leader draining across asphalt area into the public right of way into Piermont Avenue.



Image 4: Parking area along Piermont Avenue with vehicles in the public right of way. No sidewalks or pedestrian safety measures.



Image 5: Sediment and gravel from the property into the public right of way.



Image 6: Roof drain on to asphalt with gravel and sediment.



Image 7: Metal bollard damaged from within the property.



Image 8: Drainage toward Patterson Street with deterioration of asphalt and sediment.



Image 9: Head in parking along Patterson Street with hydrant in the background.



Image 10: Asphalt parking between the building to the back of curb with no sidewalk, lighting or other pedestrian safety measures.

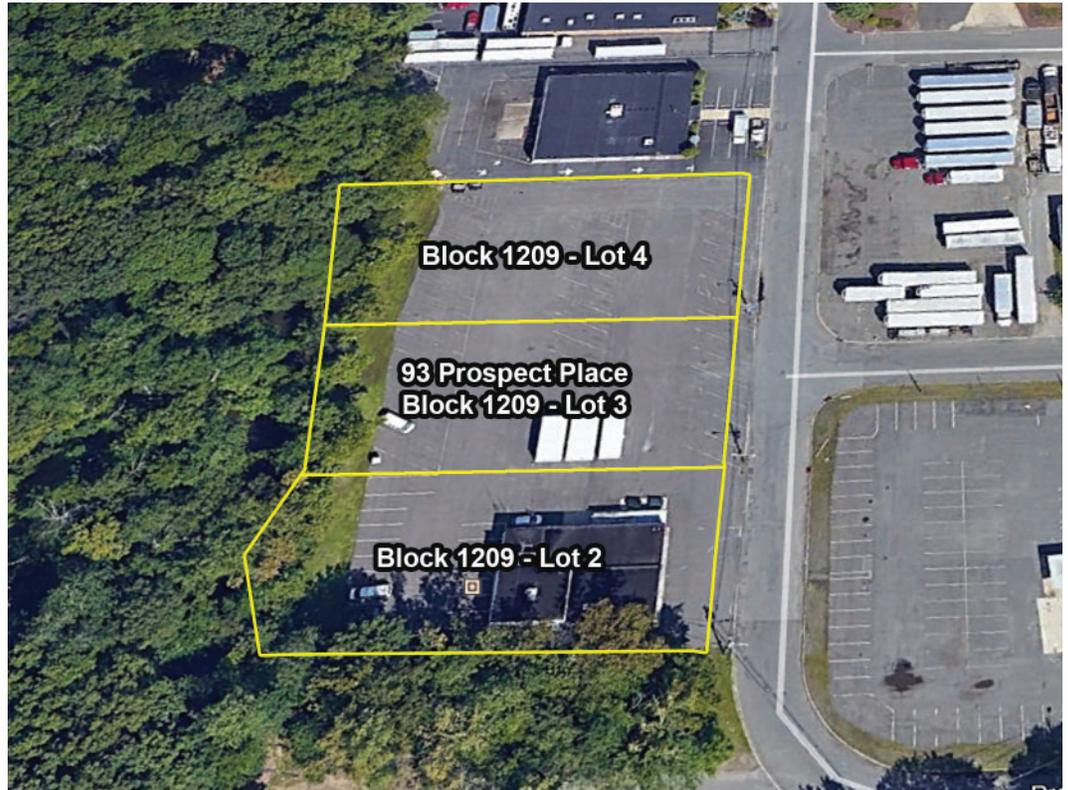


Image 11: Head in parking along Piermont Avenue located in the public right of way. No sidewalks, lighting or pedestrian safety measures.



Image 12: Asphalt parking with water draining into the public right of way.

Jack Ely Real Estate LLC
93 Prospect Pl.
Hillsdale, NJ 07642



Property Use:
Surface Parking

Zone District:
Industrial (I)

Property Acreage:
0.5354

Permitted Use:
No

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1209 Lot 2:

- | | |
|-----------------------|------------|
| 1. Assessment: | \$ 599,600 |
| 2. Land Value: | \$ 420,000 |
| 3. Improvement Value: | \$ 179,600 |

Property Description:

This property (93 Prospect Pace) includes a one story building with three bay roll up garage doors facing the street. The building is situated on the most southern of three contiguous lots owned by the same entity that function as a single property. Access to the building was requested but was not granted.

The property is comprised of a significant percentage of impervious area, including an asphalt parking lot that surrounds the one story building. The parking lot pitches away from the building and does not appear to have any storm water management control measures preventing run-off from entering the stream either directly or through the storm water system within the public right of way. The property backs onto the stream in the rear, which is classified as a C-1 Waterway, which requires a 300 foot buffer for new development.

The portion of the property that slopes toward the street includes areas at the curb-line with damage to the asphalt in the street. This condition is most likely caused by freeze / thaw over time due to the fact water from the property runs across the asphalt lot and into the public right of way without any control

measures.

The remaining two lots are comprised of asphalt parking from the back of curb to the edge of the stream buffer in the rear. A significant portion of the parking has been fenced off with a six foot chain linked fence. The area within the fence is being used to store what appears to be construction materials. Rusting of metal materials within the fenced area was noted and observed during several site visits. No run off control measures were observed at the rear portion of the fenced area to prevent run-off from entering the stream.

There are no sidewalks, or landscape areas on any portion of the street frontage. The asphalt parking is goes to the back of curb, which is a flush drop curb along the majority of street frontage. There are no sidewalks, buffers or pedestrian safety measures of any kind along the back of curb as required by the zoning ordinance. This condition allow vehicles to exit the parking lot along most of the length of the properties without any access management controls. There are multiple utility poles located in the parking area along the curb-line with no barriers to prevent vehicles from running into them and the parking lot does not include any lighting.

The property slopes from the building towards Prospect Place and drains directly on to the public right of way, causing a safety issue. In addition, this can cause safety concerns during rain and freezing events and create freeze and thaw issues by damaging the existing parking lot.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include two (2) traffic violation/ motor vehicle accident, four (4) noise/odor complaints and two (2) fire dept call/request. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) The property includes a large area with construction and other materials sectioned off with chain linked fencing that is located on the asphalt / gravel lot. The lot grades toward the street and toward the stream in the rear and there are no storm water measures located on the site.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be considered:

Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

"Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

As indicated this property does not require these provisions, however the lack of stormwater management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. Per Section 310-107, "Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system

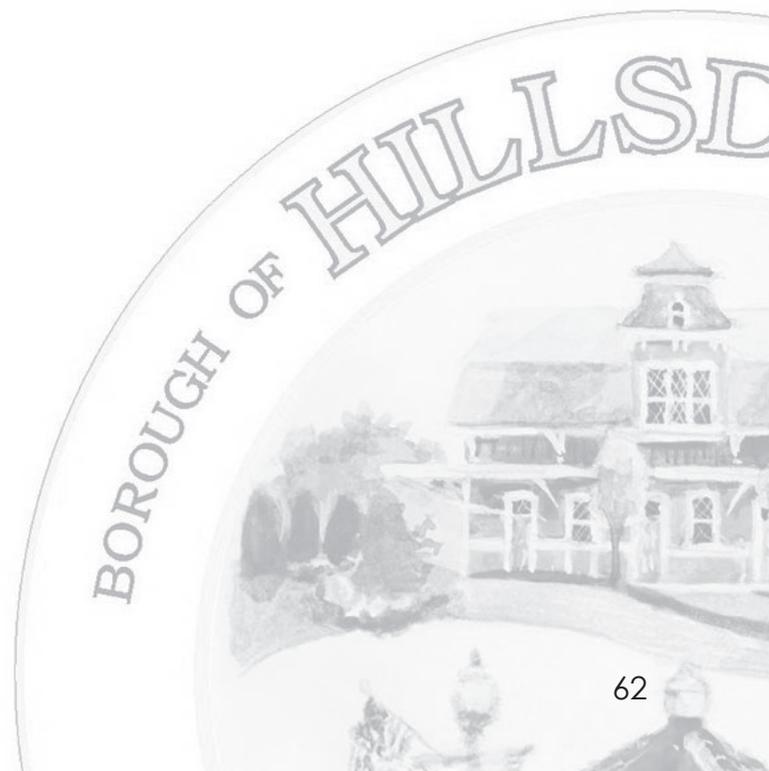
- 2) Roof leaders drain water across the asphalt parking areas into the public right of way and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot into the public storm water system, which flows into the Oradell Reservoir. This represents a detrimental impact to the health, safety and welfare of the community;
- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of

such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community.

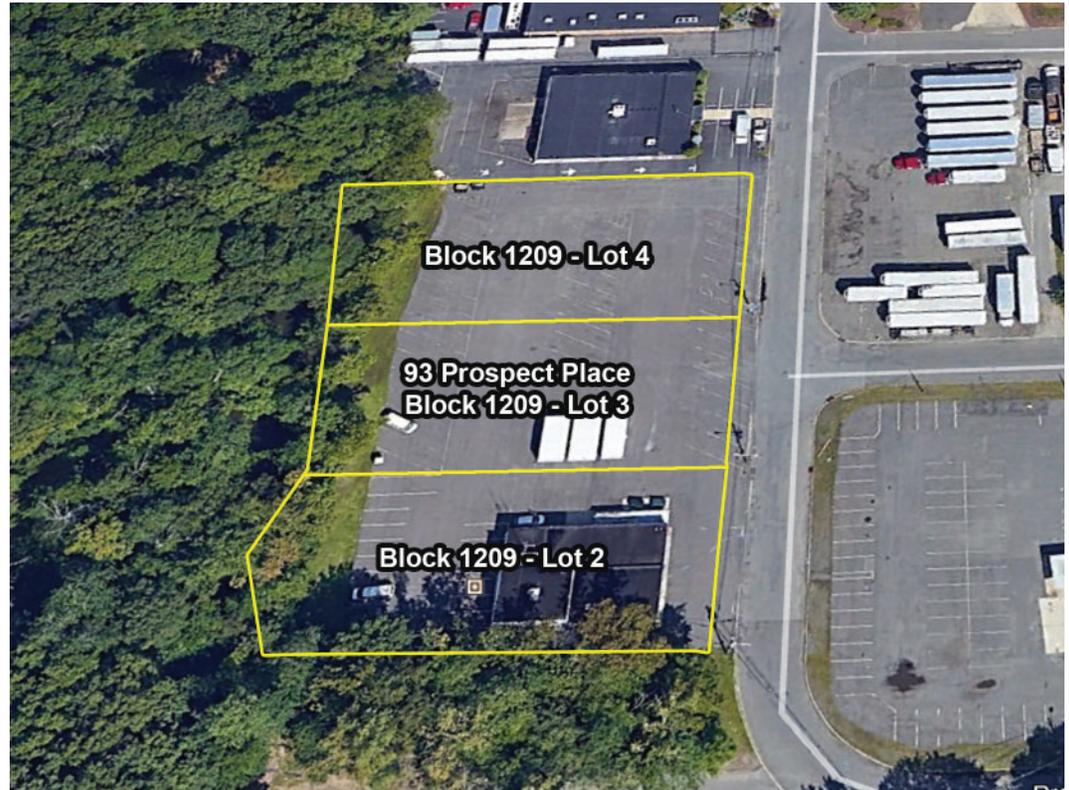
- 4) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Jack Ely Real Estate LLC
93 Prospect Pl.
Hillsdale, NJ 07642



Property Use:
Surface Parking

Zone District:
Industrial (I)

Property Acreage:
0.5086

Permitted Use:
No

Property Value:
According to the Borough of Hillsdale the assessed value for Block 1209 Lot 3:

1. Assessment:	\$ 309,600
2. Land Value:	\$ 294,000
3. Improvement Value:	\$ 15,600

Property Description:

This property (93 Prospect Place) includes a one story building with three bay roll up garage doors facing the street. The building is situated on the most southern of three contiguous lots owned by the same entity that function as a single property. Access to the building was requested but was not granted.

The property is comprised of a significant percentage of impervious area, including an asphalt parking lot that surrounds the one story building. The parking lot pitches away from the building and does not appear to have any storm water management control measures preventing run-off from entering the stream either directly or through the storm water system within the public right of way. The property backs onto the stream in the rear, which is classified as a C-1 Waterway, which requires a 300 foot buffer for new development.

The portion of the property that slopes toward the street includes areas at the curb-line with damage to the asphalt in the street. This condition is most likely caused by freeze / thaw over time due to the fact

water from the property runs across the asphalt lot and into the public right of way without any control measures.

The remaining two lots are comprised of asphalt parking from the back of curb to the edge of the stream buffer in the rear. A significant portion of the parking has been fenced off with a six foot chain linked fence. The area within the fence is being used to store what appears to be construction materials. Rusting of metal materials within the fenced area was noted and observed during several site visits. No run off control measures were observed at the rear portion of the fenced area to prevent run-off from entering the stream.

There are no sidewalks, or landscape areas on any portion of the street frontage. The asphalt parking is goes to the back of curb, which is a flush drop curb along the majority of street frontage. There are no sidewalks, buffers or pedestrian safety measures of any kind along the back of curb as required by the zoning ordinance. This condition allow vehicles to exit the parking lot along most of the length of the properties without any access management controls. There are multiple utility poles located in the parking area along the curb-line with no barriers to prevent vehicles from running into them and the parking lot does not include any lighting.

The property slopes from the building towards Prospect Place and drains directly on to the public right of way, causing a safety issue. In addition, this can cause safety concerns during rain and freezing events and create freeze and thaw issues by damaging the existing parking lot.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include two (2) traffic violation/ motor vehicle accident, four (4) noise/odor complaints and two (2) fire dept call/request. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) The property includes a large area with construction and other materials sectioned off with chain linked fencing that is located on the asphalt / gravel lot. The lot grades toward the street and toward the stream in the rear and there are no storm water measures located on the site.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial

uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be considered:

Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

"Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

As indicated this property does not require these provisions, however the lack of stormwater management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. Per Section 310-107, "Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system

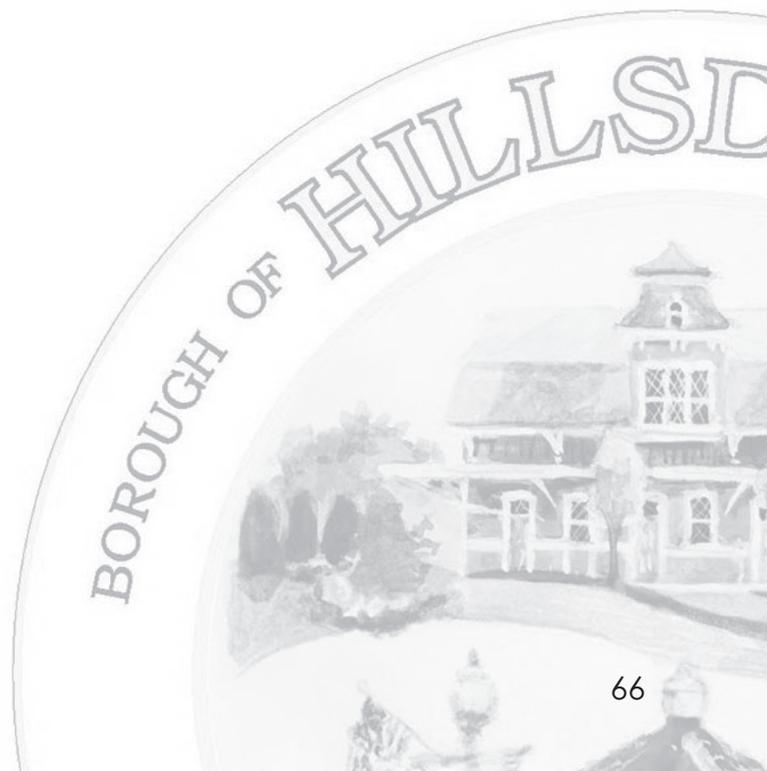
- 2) Roof leaders drain water across the asphalt parking areas into the public right of way and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot into the public storm water system, which flows into the Oradell Reservoir. This represents a detrimental impact to the health, safety and welfare of the community;
- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and

driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community.

- 4) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Jack Ely Real Estate LLC
95 Prospect Pl.
Hillsdale, NJ 07642



Property Use:
Surface Parking

Zone District:
Industrial (I)

Property Acreage:
.5014

Permitted Use:
Yes

Property Value:
According to the Borough of Hillsdale the assessed value for Block 1209 Lot 4 is:

1. Assessment:	\$ 314,700
2. Land Value:	\$ 299,600
3. Improvement Value:	\$ 15,100

Property Description:

This property (93 Prospect Pace) includes a one story building with three bay roll up garage doors facing the street. The building is situated on the most southern of three contiguous lots owned by the same entity that function as a single property. Access to the building was requested but was not granted.

The property is comprised of a significant percentage of impervious area, including an asphalt parking lot that surrounds the one story building. The parking lot pitches away from the building and does not appear to have any storm water management control measures preventing run-off from entering the stream either directly or through the storm water system within the public right of way. The property backs onto the stream in the rear, which is classified as a C-1 Waterway, which requires a 300 foot buffer for new development.

The portion of the property that slopes toward the street includes areas at the curb-line with damage to the asphalt in the street. This condition is most likely caused by freeze / thaw over time due to the fact

water from the property runs across the asphalt lot and into the public right of way without any control measures.

The remaining two lots are comprised of asphalt parking from the back of curb to the edge of the stream buffer in the rear. A significant portion of the parking has been fenced off with a six foot chain linked fence. The area within the fence is being used to store what appears to be construction materials. Rusting of metal materials within the fenced area was noted and observed during several site visits. No run off control measures were observed at the rear portion of the fenced area to prevent run-off from entering the stream.

There are no sidewalks, or landscape areas on any portion of the street frontage. The asphalt parking is goes to the back of curb, which is a flush drop curb along the majority of street frontage. There are no sidewalks, buffers or pedestrian safety measures of any kind along the back of curb as required by the zoning ordinance. This condition allow vehicles to exit the parking lot along most of the length of the properties without any access management controls. There are multiple utility poles located in the parking area along the curb-line with no barriers to prevent vehicles from running into them and the parking lot does not include any lighting.

The property slopes from the building towards Prospect Place and drains directly on to the public right of way, causing a safety issue. In addition, this can cause safety concerns during rain and freezing events and create freeze and thaw issues by damaging the existing parking lot.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include two (2) traffic violation/ motor vehicle accident, four (4) noise/odor complaints and two (2) fire dept call/request. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) The property includes a large area with construction and other materials sectioned off with chain linked fencing that is located on the asphalt / gravel lot. The lot grades toward the street and toward the stream in the rear and there are no storm water measures located on the site.

Section 310-107 Stormwater Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the stormwater management, the following should be considered:
Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

"Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

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- 2) Roof leaders drain water across the asphalt parking areas into the public right of way and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot into the public storm water system, which flows into the Oradell Reservoir. This represents a detrimental impact to the health, safety and welfare of the community;
- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated

adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community.

- 4) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.

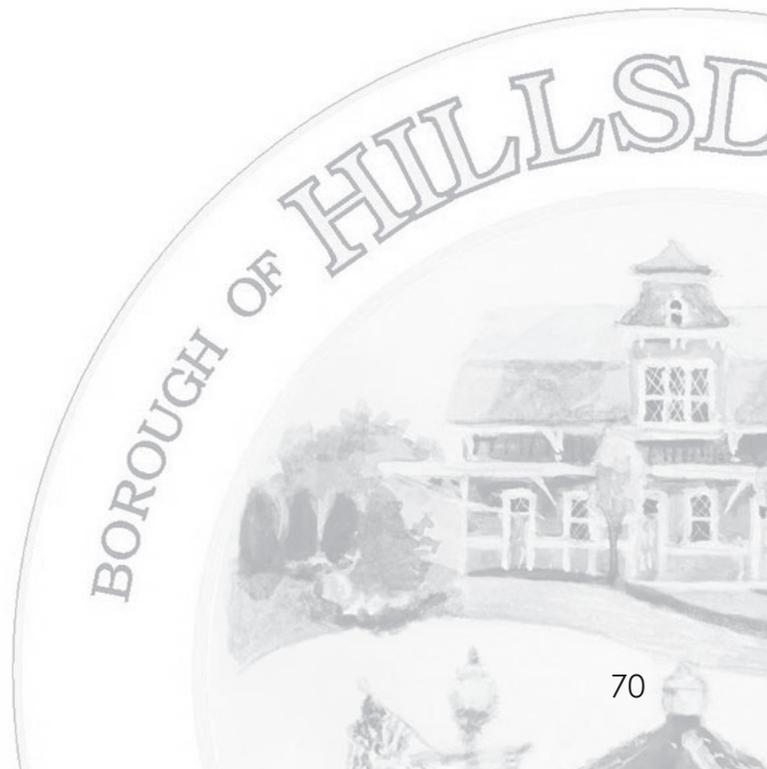




Image 1: Garage doors with asphalt parking. Drainage toward the public right of way. Drop curb along the front of the property.



Image 2: Side of building with overhang.



Image 3: Rear portion of the building with grades toward the rear of the property. No storm water management control measures.



Image 4: Rear portion of the building with grades toward the rear of the property. No storm water management control measures.



Image 5: Rear parking area draining toward the C-1 Waterway with no storm-water control measures.



Image 6: Side of the building with asphalt parking.



Image 7: Building and parking with fence in the asphalt parking area.



Image 8: Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



Image 9: Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



Image 10: Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



Image 11: Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



Image 12: Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



Image 13: Parking along Prospect Place with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



Image 14: Parking along Prospect Place with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



Image 15: Parking along Prospect Place with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



Image 16: Parking along Prospect Place with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



Image 17: Parking along Prospect Place with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



C1 Waterway Classification: Buffers are vegetated areas adjacent to waterways that provide protection to New Jersey's water quality. These special areas are established and protected through various rules and may vary in width. A 300 foot or Category One (C1) buffer is required by the Stormwater Management (NJAC 7:8) and the Flood Hazard Area Control Act rules (FHACA) at NJAC 7:13, for certain activities proposed adjacent to waters designated in the Surface Water Quality Standards (NJAC 7:9B) as C1 or their upstream tributaries in the same sub-watershed.

BOROUGH

Borough Records Concerning Enforcement Actions at the Subject Property:

blt 1209/lot 2+3

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTS Type	Case Disposition	Closed Date	View Documents	Posted By
11/01/1988 13:15	9310483			93 PROSPECT PL. HILLSDALE, NJ	33-10 / Other Complaints		11/01/1989		SUPER USER
12/29/1988 09:30	9312551	CO. SCHOLASTIC BUS OWNER (COMPLAINANT) SCHOLASTIC BUS (OTHER)	SCORDATO, JOHN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	93-19 / Motor Vehicle & Civ. Aff Other		12/29/1989		SUPER USER
07/28/1989 02:36	9308388	HADLEY CAROL (OTHER)	CARTY, JOHN F. (OFFICER) SCORDELLI, BRIAN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	4214 / Open Court/Motion, Invt of		07/28/1989		SUPER USER
07/28/1989 06:25	9307874	HADLEY CAROL (COMPLAINANT) FITZ ROBERTO (OTHER)	MULLOOLIN, FRANK A. (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	4030 / Suspicious Auto		07/28/1989		SUPER USER
07/28/1989 01:29	9307443	CO. SCHOLASTIC BUS (COMPLAINANT) HADLEY CAROL (OTHER)	MCKEIVER, BRIAN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	4031 / Suspicious Activity		07/28/1989		SUPER USER
03/11/1989 21:01	9305499	SMATHEZ, ESPERANZA (OTHER)	MCLAUGHLIN, DANIEL (SECONDARY OFFICER) SMITH, SEAN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	4030 / Suspicious Auto		06/17/1989		SUPER USER
12/21/1988 21:38	9312425	HADLEY CAROL (COMPLAINANT)	SCORDATO, JOHN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	1480 / Malicious Invt to M.V.		12/21/1988		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTS Type	Case Disposition	Closed Date	View Documents	Posted By
12/21/1988 20:33	9312422	CO. SCHOLASTIC BUS OWNER (COMPLAINANT) HADLEY CAROL (OTHER) HILL, LANE (POLICE DEPARTMENT) (OTHER)	FRANCISVALIA, ROBERT (SECONDARY OFFICER) SCORDATO, JOHN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	4214 / Open Court/Motion, Invt of		12/21/1988		SUPER USER
12/29/1988 15:30	9311880	CO. SCHOLASTIC BUS (COMPLAINANT) NEREL, JOHN (OTHER) SMITH, SEAN (SECONDARY OFFICER)	FARRELL, THOMAS (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	2472 / Harassment	CLEARED BY ARREST - JUVENILE	12/29/1988		SUPER USER
10/10/1988 08:45	9301390	CO. SCHOLASTIC BUS (COMPLAINANT) MICHAEL, BARRY (DEPENDANT) JACOBSON, CONTROL SERVICE (OTHER)	TYCO, ANIMAL (PRIMARY OFFICER)	40 SYCAMORE DR. HILLSDALE, NJ	8509 / 8509 Animals		10/10/1988		SUPER USER
10/29/1988 07:47	9306116	TYCO ANIMAL CONTROL SERVICE (OTHER)	RYAN, FLEED (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	8510 / Other Animal Complaints		10/29/1988		SUPER USER
08/07/1988 16:47	9308333	NEIGHBOR COUNTY POWER COMPANY (OTHER) BLOVER, SUSAN (OTHER) TARA KI (OTHER) NEISS, MICHAEL (DUMNY POLICE DEPT) (OTHER)	HARDER, PAUL (SECONDARY OFFICER) MCKEIVER, BRIAN (SECONDARY OFFICER) NEISS, MICHAEL (PRIMARY OFFICER) OTHER POLICE OFFICER (SECONDARY OFFICER)	4 SABLE CT WEST HACK TOWN PROVE. HILLSDALE, NJ	2011 / Bomb Threat/Exp		08/03/1988		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTS Type	Case Disposition	Closed Date	View Documents	Posted By
09/20/1988 10:34	9307543	CO. SCHOLASTIC BUS (COMPLAINANT) BRUNN, JIM (COMPLAINANT)	CARTY, JOHN F. (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	2001 / Motor Vehicle Theft		08/26/1988		SUPER USER
02/19/1988 22:20	9301880	RYAN, ARLETTE (DRIVER)	FRANCISVALIA, ROBERT (PRIMARY OFFICER) NEISS, MICHAEL (SECONDARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	4209 / Suspicious Auto		02/19/1988		SUPER USER
01/11/1988 07:17	9302713	ANDREW, NORTHERN LOCK (OTHER) CO. SCHOLASTIC BUS (COMPLAINANT) FRELDO, LEONARD (DRIVER)	MAZZEO, JOSEPH (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	7008 / LHM Out. M.V. With, Use		01/21/1988		SUPER USER
12/13/1987 08:35	9313965	CO. SCHOLASTIC BUS OWNER (COMPLAINANT) TYCO ANIMAL CONTROL SERVICE (OTHER)	MCKEIVER, BRIAN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	8510 / Other Animal Complaints		12/13/1987		SUPER USER
09/25/1987 21:25	9310064	HADLEY CAROL (OTHER)	SCORDATO, JOHN (SECONDARY OFFICER) STUCKEY, PAUL (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	4214 / Open Court/Motion, Invt of		09/25/1987		SUPER USER
01/17/1987 18:21	9301579	ZZO, USA (OTHER) MONTY, IRENE (OTHER)	NOVAKOWSKI, FRANK (PRIMARY OFFICER) OTHER POLICE OFFICER (OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	2481 / Domestic At Other Types		01/17/1987		SUPER USER
01/02/1987 12:39	9301044	HADLEY CAROL (COMPLAINANT) LINDER, THOMAS (OTHER)	STUCKEY, PAUL (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	4021 / Suspicious Activity		01/02/1987		SUPER USER
08/28/1985 01:38	9309747		CARTY, JOHN F. (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	8701 / Police Invt/Invt of		08/28/1985		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTS Type	Case Disposition	Closed Date	View Documents	Posted By
02/23/1988 07:30	9305369		CARTY, JOHN F. (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	8701 / Police Invt/Invt of		08/18/2015		SUPER USER
01/08/1988 11:28	9301685	CO. SCHOLASTIC BUS (COMPLAINANT) BRUNN, JIM (COMPLAINANT)	BUESSER, ROBERT (SECONDARY OFFICER) UNKNOWN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	2001 / Motor Vehicle Other Types	CLOSED	01/08/1988		SUPER USER
01/12/1988 14:15	9303430	ALS (S) (CAREGIVER) CO. SCHOLASTIC BUS (COMPLAINANT) MEE, ROBERT (MILITARY WASHINGTON TOWNSHIP EMERGENCY CORP) (CAREGIVER)	BUESSER, ROBERT (PRIMARY OFFICER) LEBSTON, PETER (SECONDARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	7008 / Medical Assistance		01/12/1988		SUPER USER
01/03/1988 10:42	9303004	CO. SCHOLASTIC BUS (COMPLAINANT) DEMICURO, MARY A (VICTIM) AMBULANCE CORP (CAREGIVER)	BUESSER, ROBERT (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	7008 / Medical Assistance		01/03/1988		SUPER USER
10/30/1985 19:44	9303183	HILLSDALE AMBULANCE CORP (CAREGIVER) HILLSDALE FIRE DEPARTMENT (OTHER)		93 PROSPECT PL. HILLSDALE, NJ	7502 / Fire Dispatch/ Assist	PENDING	06/18/2015		SUPER USER
12/09/1985 10:02	9303007	HADLEY CAROL (COMPLAINANT) ALBING, MICHAEL (OTHER)	FRANCISVALIA, ROBERT (PRIMARY OFFICER) UNKNOWN (SECONDARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	1480 / Malicious Invt to M.V.		12/09/1985		SUPER USER
08/01/1985 09:05	9302950	BARBARINI, JOHN (COMPLAINANT)	NEISS, MICHAEL (PRIMARY OFFICER)	68 MANGLIA AVE. HILLSDALE 07642 (HOME)	2472 / Harassment		08/01/1985		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTS Type	Case Disposition	Closed Date	View Documents	Posted By
07/19/2018 09:20	9302209	CO. SCHOLASTIC BUS (VICTIM) HADLEY CAROL (COMPLAINANT)	KIRBY, RYAN (PRIMARY OFFICER) UNKNOWN (SECONDARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	9304 / Other Public Services		07/19/2018		SUPER USER
08/20/1985 02:40	9304586	CO. SCHOLASTIC BUS (VICTIM) HADLEY CAROL (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ SCHOLASTIC BUS (HOME)	7014 / Other Public Services		08/20/1985		SUPER USER
07/05/2018 09:39	2018-00016		DEICHA, GERMAN (PRIMARY OFFICER) FIRE DEPARTMENT, HILLSDALE (SECONDARY OFFICER) MACKENZIE, JOHN (SECONDARY OFFICER)	93 Prospect Pl. Hillsdale, NJ 07642	FIRE (ALL WORKING HERE)	CLOSED	07/05/2018		MACKENZIE, JOSEPH
06/02/2018 01:13	2018-04773	LUDE, JAMES C (DEFENDANT)	CARTY, JOHN (SECONDARY OFFICER) MUTUAL AID, PD (SECONDARY OFFICER) WOODS, TRAVIS L (SECONDARY OFFICER)	178 N WILTON AVENUE, RAMWAY, NJ 07620-3388 84 SANDFORD AVE, IRVINGTON, NJ 07111 (HOME) 93 Prospect Pl. Hillsdale, NJ 07642	SUSPICIOUS AUTO GENERAL POLICE	CLEARED BY ARREST-ADULT	05/09/2018	View Documents	WOODS, TRAVIS L
02/12/2018 02:21	2018-04032		BUESSER, M (NORTON, RYAN (PRIMARY OFFICER)	93 Prospect Pl. Hillsdale, NJ 07642	SUSPICIOUS ACTIVITY	NO REPORTING FURTHER ACTION	02/12/2018		NORTON, RYAN
08/02/2016 01:55	2016-03789		KAPLAN, ALEX (PRIMARY OFFICER) WOODS, TRAVIS L (OFFICER)	93 Prospect Pl. Hillsdale, NJ 07642	ARREST OTHER	UNFOUNDED	05/09/2018		KAPLAN, ALEX

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CTS Type	Case Disposition	Closed Date	View Documents	Posted By
08/08/2018 01:08	2018-00758		CARTY, JOHN (PRIMARY OFFICER) WOODS, TRAVIS L (SECONDARY OFFICER)	93 Prospect Pl. Hillsdale, NJ 07642	SUSPICIOUS AUTO GENERAL POLICE	CLOSED	08/09/2018		CARTY, JOHN
04/02/2018 16:32	2018-02046	MAJALOUF, TONY (COMPLAINANT)	CAMPORALE, MICHAEL (PRIMARY OFFICER)	86 WASHINGTON AVE, HILLSDALE, NJ 07642-3028 (HOME) 93 Prospect Pl. Hillsdale, NJ 07642	ASSIST OFFICER	CLOSED	04/02/2018	View Documents	CAMPORALE, MICHAEL
06/08/2015 06:58	2015-09377		MCLAUGHLIN, DANIEL (PRIMARY OFFICER)	93 Prospect Pl. Hillsdale, NJ 07642	SUSPICIOUS ACTIVITY	CLOSED	06/09/2015		MCLAUGHLIN, DANIEL
07/14/2014 16:32	1407522	LAWTON, THOMAS S (DRIVER)	CARTY, JOHN F. (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	4030 / Suspicious Auto		07/14/2014		SUPER USER
01/01/2014 16:32	1400220		SMITH, THOMAS (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	7997 / Open vehicle		01/01/2014		SUPER USER
02/24/2014 12:16	1405657	SEMBIANTE, FABRIZIO A (GUARDIAN) SEMBIANTE, LORENZO (DEPENDANT)	NORTON, RYAN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	4031 / Suspicious Activity		02/24/2014		SUPER USER
11/18/2013 22:18	1312665	SILBERT, MITCHELL (OTHER)	RODRIGUEZ, LIZ J (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	4030 / Suspicious Auto		11/18/2013		SUPER USER
07/12/2013 21:54	1307363	MCKEIVER, BRIAN (PRIMARY OFFICER)		93 PROSPECT PL. HILLSDALE, NJ	4214 / Open Court/Motion, Invt of		07/12/2013		SUPER USER
04/14/2013 21:48	1303847	VANDEBELT, IRENE (OTHER)	NORTON, RYAN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	4030 / Suspicious Auto		04/14/2013		SUPER USER
01/18/2013 21:48	1300636	CO. SCHOLASTIC BUS OWNER (COMPLAINANT) SCHOLASTIC BUS (OTHER)	MCKEIVER, BRIAN (PRIMARY OFFICER)	93 PROSPECT PL. HILLSDALE, NJ	4214 / Open Court/Motion, Invt of		01/18/2013		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CBS Type	Case Disposition	Closed Date	View Documents	Posted By
11/01/2012 10:46	131164	LAVAKOMER, DURBE (COMPLAINANT) PESQI, OWNER	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	402 / Noise and Nuisance		11/01/2012		SUPER USER
10/24/2012 21:47	123660	SCHILL, EDWIN C (OTHER)	CHAZ, RAMON (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	404 / Open Court/Windows, Incest, of		10/24/2012		SUPER USER
07/14/2011 21:59	113661	CO. SCHOLASTIC BUS OWNER TUCKER, GEORGE W (OTHER)		83 PROSPECT PL, HILLSDALE, NJ	404 / Open Court/Windows, Incest, of		07/14/2011		SUPER USER
07/05/2011 11:59	113663	CO. SCHOLASTIC BUS OWNER ELY, JOHN (OTHER)	SCORATO, JOHN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	901 / False Information		07/05/2011		SUPER USER
06/05/2011 22:07	119414	CO. SCHOLASTIC BUS OWNER	ARNO, CAMERON (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	402 / Suspicious Person		06/05/2011		SUPER USER
04/10/2011 08:14	119421	CO. SCHOLASTIC BUS OWNER	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	404 / Open Court/Windows, Incest, of		04/10/2011		SUPER USER
01/13/2011 21:33	118096	CO. SCHOLASTIC BUS OTHER WYNFIELD, VLADIMIR (DEFENDANT)	NOVAKOVSKI, FRANK (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	402 / Suspicious Person		01/13/2011		SUPER USER
07/05/2010 00:32	104745	CO. SCHOLASTIC BUS OTHER SCHILL, EDWIN C (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	1008 / False Alarm - Nuisance (Unknown)		07/05/2010		SUPER USER
07/13/2010 03:59	100160	KERN, GEORGE WILLIAM (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	400 / Suspicious Auto		07/13/2010		SUPER USER
10/29/2009 13:35	091708	MOLINALLA, MANOLOU (OWNER)	NOVAKOVSKI, FRANK (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	9812 / Vehicle - N.Y. Veh. Unit		10/29/2009		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CBS Type	Case Disposition	Closed Date	View Documents	Posted By
12/18/2008 22:58	094029	ONJAE, GISELLE VICTORIA HILLSDALE AMBULANCE CORP CAREGIVER MCKEEVER, BRIAN (PRIMARY) (OFFICER)	ANGERMAYER, JEFFREY (SECONDARY) (OFFICER) MCKEEVER, BRIAN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7009 / Medical Assistance	PENDING	06/18/2016		SUPER USER
06/25/2008 21:46	030625	CO. SCHOLASTIC BUS OWNER TUCKER, GEORGE W (OTHER)	ARNO, CAMERON (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7019 / Nuisance		06/25/2008		SUPER USER
07/20/2008 22:01	340741	BRITO, SERGIO (BUS OWNER)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7015 / Assistance	PENDING	06/16/2016		SUPER USER
06/22/2008 01:42	030458	CO. SCHOLASTIC BUS OTHER HILLSDALE FIRE DEPARTMENT TUCKER, GEORGE W (OTHER)	SAVERS, DAVE (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4019 / Fire Call - Request for F.O.		06/22/2008		SUPER USER
06/21/2008 02:58	030418	CO. SCHOLASTIC BUS OWNER HILLSDALE FIRE DEPARTMENT OTHER DIVERS PALE FIRE DEPARTMENT TUCKER, GEORGE W (OTHER)	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER) ARNO, CAMERON (SECONDARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4019 / Fire Call - Request for F.O.		06/21/2008		SUPER USER
06/18/2008 01:45	030414	SMITH, THOMAS (PRIMARY) (OFFICER)	SMITH, THOMAS (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7015 / Assistance		06/18/2008		SUPER USER
06/01/2008 06:19	030438	CO. SCHOLASTIC BUS OWNER MACAQUINO, THOMAS VICTOR WASHINGTON TOWNSHIP AMBULANCE CORP CAREGIVER	ARNO, CAMERON (PRIMARY) (OFFICER) MAZZEO, JOSEPH (SECONDARY) (OFFICER) MCKEEVER, BRIAN (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7009 / Medical Assistance		06/01/2008		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CBS Type	Case Disposition	Closed Date	View Documents	Posted By
03/23/2009 21:52	090388	DETIZ, ALEXANDER B (PASSENGER) RODRIGUEZ, ANDELO (PASSENGER)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER) SMITH, SEAN (SECONDARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	400 / Suspicious Auto		03/23/2009		SUPER USER
08/05/2008 00:32	060367	CO. SCHOLASTIC BUS OTHER	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	404 / Open Court/Windows, Incest, of		08/05/2008		SUPER USER
07/25/2008 06:07	060708	CO. SCHOLASTIC BUS OWNER	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7002 / Suspicious Person (Other Info)		07/25/2008		SUPER USER
04/28/2008 12:28	060476	ACOSTA, CARLOS (COMPLAINANT) OFFICER TOWING SERVICE DEWITT, NANCY C (DEFENDANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	9111 / Police Information	CLOSED	04/28/2008		SUPER USER
04/23/2008 13:34	060474	OFFICER TOWING SERVICE DEWITT, GEORGE R (OTHER) DEWITT, NANCY C (DEFENDANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER) NOVAKOVSKI, FRANK (PRIMARY) (OFFICER) SAVERS, DAVE (SECONDARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	2111 / Arrest - Under the Influence	CLEARED BY ARREST-ADULT	04/23/2008		SUPER USER
04/23/2008 04:50	060466	CO. SCHOLASTIC BUS (OTHER)	DIEDRICH JR, ROBERT (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7016 / Assistance		04/23/2008		SUPER USER
03/12/2008 01:17	060106	CO. SCHOLASTIC BUS (OTHER) ELY, JOHN R (OTHER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4015 / Noise Complaints		03/12/2008		SUPER USER
02/06/2008 19:47	060146	CO. SCHOLASTIC BUS (OTHER) TUCKER, GEORGE W (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4015 / Noise Complaints		02/06/2008		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CBS Type	Case Disposition	Closed Date	View Documents	Posted By
04/19/2007 19:30	070420	BEINZ, KATHRYN (DEFENDANT) CO. SCHOLASTIC BUS (OTHER) LEWIS, RICHIE (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER) DIEDRICH JR, ROBERT (SECONDARY) (OFFICER) SMITH, THOMAS (SECONDARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	2111 / Arrest - Under the Influence	CLEARED BY ARREST-ADULT	04/19/2007		SUPER USER
03/18/2007 02:25	070137	CO. SCHOLASTIC BUS (DEFENDANT) ELY, JOHN R (OTHER) TUCKER, GEORGE W (OTHER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4010 / Noise Complaints		03/18/2007		SUPER USER
12/07/2006 10:40	061265	BLVD, SUSAN (COMPLAINANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7001 / Car Seat Inspection/Info		12/07/2006		SUPER USER
09/03/2006 09:10	061017	CO. SCHOLASTIC BUS OWNER ROBE, SUSAN LI (COMPLAINANT)	VANIGA, FREDERIC (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4016 / Noise Complaints		09/03/2006		SUPER USER
06/12/2006 20:37	060671	CO. SCHOLASTIC BUS (OTHER) TUCKER, GEORGE W (OTHER)	SCORATO, JOHN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4027 / Dangerous Condition		06/12/2006		SUPER USER
01/18/2006 09:30	060610	CO. SCHOLASTIC BUS OWNER HILLSDALE FIRE DEPARTMENT OTHER	DIEDRICH JR, ROBERT (SECONDARY) (OFFICER) MAZZEO, JOSEPH (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	402 / Car Seat Inspection	PENDING	06/18/2015		SUPER USER
01/19/2006 08:44	060523	CO. SCHOLASTIC BUS OWNER	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7308 / Fire Alarm - NOT of service		01/19/2006		SUPER USER
11/16/2005 19:15	061106	CO. SCHOLASTIC BUS (OTHER) GENTMAN, GENE (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4020 / Suspicious Auto		11/16/2005		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CBS Type	Case Disposition	Closed Date	View Documents	Posted By
08/18/2005 03:28	050662	CO. SCHOLASTIC BUS OWNER TUCKER, GEORGE W (OTHER)	SMITH, THOMAS (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4014 / Suspicious Activity		08/18/2005		SUPER USER
02/29/2005 19:47	050201	CO. SCHOLASTIC BUS OWNER	SMITH, SEAN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4020 / Suspicious Auto		02/29/2005		SUPER USER
02/11/2005 11:37	050160	BRANCORSO, MICHAEL A (COMPLAINANT)	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER) MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	2632 / Littering		02/11/2005		SUPER USER
10/09/2004 13:34	041844	CO. SCHOLASTIC BUS (DEFENDANT) NEW JERSEY STATE POLICE TRF-539 (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7004 / Other - Police Dept. Assist to 3000 (HOME)		10/09/2004		SUPER USER
07/29/2004 06:07	040619	CO. SCHOLASTIC BUS (OTHER) HOME # 3 (OTHER)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	9101 / Police Information		07/29/2004		SUPER USER
06/04/2004 20:33	040479	HADLEY, CAROL (HOME # 3 OTHER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	9101 / Police Information		04/24/2004		SUPER USER
07/29/2003 05:32	031813	WASHINGTON TOWNSHIP AMBULANCE CORP CAREGIVER	HAMPTON, ADEAR (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7008 / Medical Assistance		12/09/2003		SUPER USER
11/19/2003 01:16	031314	BELLIZZ, DAVID P (DEFENDANT) CO. SCHOLASTIC BUS (COMPLAINANT) ELY, JOHN R (HOME # 3 COMPLAINANT)	MELLO, MICHAEL (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	9101 / Police Information		09/19/2015		SUPER USER
11/06/2003 02:48	031060	MCKEEVER, ERBAN (PRIMARY) (OFFICER)	MCKEEVER, ERBAN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	4014 / Open Court/Windows, Incest, of		11/06/2003		SUPER USER

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10/23/2003 13:44	031013	CLARE TRANSPORT INC (DEFENDANT) CO. SCHOLASTIC BUS OWNER HADLEY, CAROL (HOME # 3 COMPLAINANT)	HAMPTON, ADAM B (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	6916 / N.Y. State Dept. Parking ETC		10/23/2003		SUPER USER
10/20/2003 07:41	031029	HOPKINS, NANCY (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	0700 / Auto-M Other Parking		10/20/2003		SUPER USER
10/13/2003 01:41	031028	BELLIZZ, DAVID P (OTHER) HILLSDALE FIRE DEPARTMENT HOME # 3 (OWNER)	SMITH, THOMAS (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	9101 / Police Information	PENDING	06/18/2015		SUPER USER
06/18/2003 07:41	031041	HADLEY, CAROL (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	5004 / Found Article	CLEARED BY ARREST-ADULT	09/15/2003		SUPER USER
07/17/2003 02:46	030812	SCHOOL TRANSPORTATION SERVICE (OTHER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	1400 / Malicious M.V.		07/17/2003		SUPER USER
07/15/2003 18:39	030809	CO. SCHOLASTIC BUS (COMPLAINANT) HILLSDALE FIRE DEPARTMENT CAREGIVER	KAVANAGH, SEAN (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7008 / Medical Assistance		07/15/2003		SUPER USER
07/04/2003 07:23	030779	CO. SCHOLASTIC BUS (OTHER) CO. SCHOLASTIC BUS (COMPLAINANT) MELLO, MICHAEL (COMPLAINANT)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	1400 / Malicious M.V.		07/04/2003		SUPER USER
06/17/2003 01:48	030668	TUCKER, GEORGE W (OTHER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	83 PROSPECT PL, HILLSDALE, NJ	7016 / Assistance		06/17/2003		SUPER USER

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Borough of Hillsdale Investigation Study

93 Prospect Pl. Block 1209 Lot 2, 3 & 4

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
06/11/2001 13:44	030852	D.O. SCHOLASTIC BUS DRIVER (VICTIM) JOHN WILKINSON (TOWNSHIP AMBULANCE CORP. CAREGIVER)	HAMILTON, ADAM R (PRIMARY) OFFICER MCKEEVER, BRIAN (SECONDARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance		06/11/2003		SUPER USER
05/09/2003 09:30	030821	ZIEGLER, RONALD R (COMPLAINANT)	SMITH, SEAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	0730 / Other Vehic-All Other Park Lt		05/09/2003		SUPER USER
02/12/2003 09:30	030774	A.L.S. 40% CAREGIVER AMBULANCE CORP. RIVER VALE CAREGIVER BELLEZ, DAVID S (VICTIM) D.O. SCHOLASTIC BUS (COMPLAINANT)	AMERSON, JEFFREY (PRIMARY) OFFICER FRANCANGOLA, ROBERT (SECONDARY) OFFICER MCKEEVER, DANIEL (SECONDARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance		02/12/2003		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
07/22/2003 22:57	020895	D.O. SCHOLASTIC BUS VICTIM D.O. SCHOLASTIC BUS DRIVER (DEFENDANT) JANEENE DEFLUPO, CATHY (OTHER) FINN'S AUTO BODY OWNER HADLEY, CAROL (OTHER) MANDRACH, ANDREW K (DEFENDANT) MANDRACH, MICHAEL L (OTHER) O'NEILLY, TIMOTHY P (COMPLAINANT) PROMULES, KENNETH (WITNESS) LUSSE, DANIEL (DEFENDANT) LUSSE, DONALD (OTHER) WASHINGTON TOWNSHIP POLICE DEPT (OTHER)	FARRELL, THOMAS (PRIMARY) OFFICER HAMILTON, ADAM R (SECONDARY) OFFICER OTHER POLICE OFFICER (SECONDARY) OFFICER SECORATO, JOHN (SECONDARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ CLAYTON RD (PESH TWP) HILLSDALE, NJ 07642 (HOME)	0614 / 00000 & Over-From Ambulance		07/22/2002		SUPER USER
06/13/2002 20:56	020691	D.O. SCHOLASTIC BUS OWNER HADLEY, CAROL (OTHER)	DONALDSON, CHRIS (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ 07642 (HOME)	0101 / Police Information		06/13/2002		SUPER USER
06/13/2002 10:16	020650	WERRGOK, NANCY (COMPLAINANT)	STUCKEY, PAUL (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	8008 / Lost Article		06/13/2002		SUPER USER
05/22/2002 13:36	020471	D.O. SCHOLASTIC BUS (COMPLAINANT)	MCKEEVER, BRIAN (PRIMARY) OFFICER FRANCANGOLA, ROBERT (SECONDARY) OFFICER (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	4001 / Suspicious Auto		05/22/2002		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
05/15/2002 17:02	020421	D.O. SCHOLASTIC BUS OTHER SCHOOL TRANSPORTATION SERV LLC (OTHER)	MAVANAP, SEAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	7007 / Notifications		05/15/2002		SUPER USER
05/01/2002 21:38	020460	HAMILTON, ADAM R (PRIMARY) OFFICER	HAMILTON, ADAM R (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	9101 / Police Information	PENDING	05/18/2015		SUPER USER
03/04/2002 18:03	020390	HADLEY, CAROL (COMPLAINANT)		93 PROSPECT PL HILLSDALE, NJ 07642 (HOME)	7008 / Lost Car, M.V., Bikes, Etc	PENDING	06/18/2015		SUPER USER
02/11/2002 07:20	020169	D.O. SCHOLASTIC BUS VICTIM HADLEY, CAROL (COMPLAINANT) KUSNIC, MICHAEL (COMPLAINANT) SCHOOL TRANSPORTATION SERV LLC (OTHER)	STUCKEY, PAUL (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ SCHOLASTIC BUS HILLSDALE, NJ 07642 (HOME)	0614 / 0000 & Over-From Auto(EAS)		02/11/2002		SUPER USER
02/02/2002 06:40	010545	D.O. SCHOLASTIC BUS OTHER HADLEY, CAROL (COMPLAINANT) SCHOOL TRANSPORTATION SERV LLC (OTHER)	FRANCANGOLA, ROBERT (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ 07642 (HOME)	1426 / Business Bus, Commercial Match		05/29/2001		SUPER USER
01/17/2002 21:15	010192	D.O. SCHOLASTIC BUS (OTHER)	MAVANAP, SEAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	9101 / Police Information		01/17/2001		SUPER USER
02/22/2001 07:20	010200	BARRODIALE SHAWANNA VICTIM D.O. SCHOLASTIC BUS DRIVER HADLEY, CAROL (COMPLAINANT) TOWNSHIP AMBULANCE CORP. CAREGIVER)	DONALDSON, CHRIS (PRIMARY) OFFICER SMITH, THOMAS (SECONDARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ 07642 (HOME)	7008 / Medical Assistance		07/23/2001		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
11/20/2000 08:18	012941	AMBULANCE CORPS RIVER VALE CAREGIVER D.O. SCHOLASTIC BUS (COMPLAINANT)	MAZZEO, JOSEPH (SECONDARY) OFFICER MORROW, FRANK (SECONDARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance	PENDING	05/18/2015		SUPER USER
10/16/2000 18:30	010340	D.O. SCHOLASTIC BUS OTHER LATONA, RYAN (DRIVER) LANE, DWAYNE A (OTHER) MANAUBERT INC (HILLSDALE, NJ (COMPLAINANT))	MCKEEVER, BRIAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	8008 / Accident Involving Non-Vehic		10/16/2000		SUPER USER
09/01/2000 09:06	010041	WASHINGTON TOWNSHIP POLICE DEPT (OTHER) STA TES JR., ELWOOD (SECONDARY) OFFICER	DONALDSON, CHRIS (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	7008 / Medical Assistance		09/01/2000		SUPER USER
06/21/2000 09:40	010340	DANIEL, CATHERINE (VICTIM) HADLEY, CAROL (COMPLAINANT) JEFFERSON HERMAN (OTHER) MCKEEVER, BRIAN (OTHER)	DONALDSON, CHRIS (SECONDARY) OFFICER STA TES JR., ELWOOD (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ SCHOLASTIC BUS HILLSDALE 07642 (HOME)	0101 / Police Information	CLOSED	06/21/2000		SUPER USER
08/19/2000 21:27	000646	COLUMBO, WILLIAM J (OTHER) COLUMBO, WILLIAM J (OTHER) DEJAN, ARIAN (OTHER) MCKEEVER, BRIAN (OTHER)	KAWANAKA, SEAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	4007 / Suspicious Auto		08/19/2000		SUPER USER
02/20/2000 12:01	000013	SMITH, SEAN (PRIMARY) OFFICER	SMITH, SEAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	0101 / Police Information		02/20/2000		SUPER USER

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04/14/2000 09:25	000420	D.O. SCHOLASTIC BUS OTHER RECHERT, ROSEMARY (COMPLAINANT)	CARTY, JOHN F (PRIMARY) OFFICER SCORODATO, JOHN (SECONDARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	5000 / Flood Police	CLOSED	04/14/2000		SUPER USER
03/28/2000 01:20	000386	HADLEY, CAROL (OTHER)	MCKEEVER, BRIAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ SCHOLASTIC BUS HILLSDALE 07642 (HOME)	4014 / Open Curfew/John, Inviol. of	PENDING	06/18/2015		SUPER USER
02/11/2000 17:20	000209	BARO, LEONARDO (OTHER) SHAWNA SYLVA (COMPLAINANT)	MCKEEVER, BRIAN (PRIMARY) OFFICER	93 PROSPECT PL HILLSDALE, NJ	7008 / Lost Car, M.V., Bikes, Etc		02/11/2000		SUPER USER

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Pana Associates LLC
107 Prospect Pl.
Hillsdale, NJ 07642

Property Use:
Commercial

Zone District:
Industrial (I)

Property Acreage:
0.4913

Permitted Use:
Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1209 Lot 5:

- | | |
|-----------------------|------------|
| 1. Assessment: | \$ 623,200 |
| 2. Land Value: | \$ 428,000 |
| 3. Improvement Value: | \$ 195,200 |

Property Description:

This property (107 Prospect Place) includes a one story building approximately 72 feet wide by 82 feet deep. The building is currently being used as an office and store for Durie Lawnmower. There are two curb cuts along the frontage on Prospect Place that are used as a one way entrance and exit. The building is set back approximately 45 feet from Prospect Place and has 8 parking spaces, six of which appear to be within the property with the remaining two appearing to be in the public right of way. There is no buffer or sidewalk between the parking and public right of way, however the parking configuration allows vehicles to maneuver within the property without going into the public right of way.

The property is predominantly impervious, but does have landscape planting areas at the front of the building with roof leader lines that drain into those areas. There is one utility pole located along the street frontage that includes a six inch curb to protect it from vehicles. The property drains away from the building and in the rear drains toward the existing stream. There does not appear to be any storm water

control measures on the rear portion of the property, however there is pervious area at the rear of the property.

The northern most curb cut is the one way entrance on to the site, a vehicle must drive around the entire building to reach the exit as the drive aisles appear to be too narrow to allow for two way traffic.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include a traffic violation/ motor vehicle accident and two (2) municipal ordinance violations, one of which is an Environmental Protection Agency violation for pollution. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

Given the lighting located on the building, the ability for vehicles to maneuver within the property without having to back into the public right of way, and the presence of landscape areas that allow stormwater run-off to be captured on site before entering into the stormwater system, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property not be designated.



Image 1: Front facade along Prospect Place with landscape and parking.



Image 2: Front facade along Prospect Place with landscape and parking.



Image 3: Front facade along Prospect Place with landscape and parking.



Image 4: Front facade along Prospect Place with landscape and parking.



Image 5: Front facade along Prospect Place with landscape and parking.

Borough Records Concerning Enforcement Actions at the Subject Property:

PD Case Search List

Blk 1209/lot 5

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PIS Type	Case Disposition	Closed Date	View Documents	Posted By
11-15-1999 02:44	991075		SMITH SEAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of	PENDING	09/18/2015		SUPER USER
11-03-1999 09:36	9912748	MARINO, CHRIS (OTHER)	MCLAUGHLIN, DANIEL (OFFICER) SMITH SEAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5005 / False Alarm, NoInvest (Day)		11/07/1999		SUPER USER
10-25-1999 21:19	9912309	DEPOT, CB (OWNER)	DONALDSON, CHRIS (SECONDARY) (OFFICER) LEIGHTON, PETER (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		10-25-1999		SUPER USER
10-13-1999 20:08	9911803	C & M LANDSCAPE CONTRACTORS (OWNER)	GARTY, JOHN F. (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5004 / False Alarm, NoInvest (Night)		10/17/1999		SUPER USER
08-23-1999 09:39	9911161	ALUMEN, ATLANTIC CENTRAL (COMPLAINANT)	GARTY, JOHN F. (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5005 / False Alarm, NoInvest (Day)		09/30/1999		SUPER USER
09-04-1999 18:20	9911009	C & M LANDSCAPE CONTRACTORS (COMPLAINANT) MARINO, JOSEPH (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	9101 / Police Information	PENDING	09/18/2015		SUPER USER
08-29-1999 21:10	9906806	DEPOT, CB (OWNER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		08/29/1999		SUPER USER
07-09-1999 22:46	9907727	DEPOT, CB TRAIN STATION CENTRAL (OTHER)	DONALDSON, CHRIS (PRIMARY) (OFFICER) MAZZEO, JOSEPH (SECONDARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5004 / False Alarm, NoInvest (Night)		07/09/1999		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PIS Type	Case Disposition	Closed Date	View Documents	Posted By
09-22-1999 21:51	9907349		MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		06/30/1999		SUPER USER
09-28-1999 21:28	9907281	C & M LANDSCAPE CONTRACTORS (DEFENDANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5040 / Mtn. Obj. Vio. Other NoInvest		08/28/1999		SUPER USER
09-24-1999 20:55	9907300		MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09-24-1999		SUPER USER
09-19-1999 18:52	9906703	C & M LANDSCAPE CONTRACTORS (OWNER) STATION CENTRAL (OTHER)	DONALDSON, CHRIS (SECONDARY) (OFFICER) SCORZATO, JOHN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5005 / False Alarm, NoInvest (Day)		09/19/1999		SUPER USER
09-19-1999 20:26	9906671	C & M LANDSCAPE CONTRACTORS (OWNER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09/19/1999		SUPER USER
09-09-1999 01:50	9906041	C & M LANDSCAPE CONTRACTORS (OWNER) DEPOT, CB (OWNER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09/09/1999		SUPER USER
09-01-1999 20:46	9905119	C & M LANDSCAPE CONTRACTORS (COMPLAINANT) MARINO, THERESA (COMPLAINANT) MARINO, CHRIS (OFFICER) NOVAKOVSKI, FRANK (PRIMARY) (OFFICER) RAMOS-SAMBOVAL, GABRIEL (SECONDARY) (OFFICER)	DONALDSON, CHRIS (SECONDARY) (OFFICER) MCKEEVER, BRIAN (SECONDARY) (OFFICER) NOVAKOVSKI, FRANK (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09/01/1999		SUPER USER
09-29-1999 12:49	9905905	C & M LANDSCAPE CONTRACTORS (OWNER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5005 / False Alarm, NoInvest (Day)		09/29/1999		SUPER USER
09-28-1999 21:30	9905981		SMITH, THOMAS (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09/28/1999		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PIS Type	Case Disposition	Closed Date	View Documents	Posted By
09-24-1999 13:52	9905748	DEPOT, CB (OWNER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09-24-1999		SUPER USER
08-24-1999 07:07	9905718	C & M LANDSCAPE CONTRACTORS (OWNER) MARINO, CHRIS (OTHER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5005 / False Alarm, NoInvest (Day)		09-24-1999		SUPER USER
09-23-1999 21:23	9905695	C & M LANDSCAPE CONTRACTORS (OWNER) DEPOT, CB (OWNER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09-23-1999		SUPER USER
09-19-1999 07:38	9905604	C & M LANDSCAPE CONTRACTORS (OWNER) DONALDSON, CHRIS (OTHER) SECURITY, ATLANTIC (COMPLAINANT)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5002 / False Alarm, NoInvest (Day)		09/19/1999		SUPER USER
09-10-1999 21:30	9905166	DEPOT, CB TRAIN (OWNER) MARINO, EUGENIE (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		09/10/1999		SUPER USER
04-20-1999 01:23	9904773	DEPOT, CB TRAIN (OWNER)	MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		04/20/1999		SUPER USER
04-21-1999 07:18	9904518	C & M LANDSCAPE CONTRACTORS (OWNER) SECURITY, ATLANTIC (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5005 / False Alarm, NoInvest (Day)		04/21/1999		SUPER USER
04-20-1999 01:23	9904328		MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		04/20/1999		SUPER USER
03-25-1999 01:03	9901236		MCKEEVER, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		03/25/1999		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PIS Type	Case Disposition	Closed Date	View Documents	Posted By
01-23-1999 10:15	9900674	BRIGLIO, LARRY (DEFENDANT) C & M LANDSCAPE CONTRACTORS (COMPLAINANT)	SCORZATO, JOHN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	2481 / Criminal Charge Types	CLEARED BY ARREST-ADULT	01/23/1999		SUPER USER
01-09-1999 08:11	9900329	C & M LANDSCAPE CONTRACTORS (OWNER)	HARDER, PAUL (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5005 / False Alarm, NoInvest (Day)		01/09/1999		SUPER USER
12-08-1998 21:43	9901190	DEPOT, CB TRAIN (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		12/08/1998		SUPER USER
11-04-1998 18:18	9901190	C & M LANDSCAPE CONTRACTORS (OWNER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5004 / False Alarm, NoInvest (Night)		11/04/1998		SUPER USER
10-25-1998 16:45	9901585			107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		10/25/1998		SUPER USER
10-29-1998 08:17	9901426	DEPOT, CB TRAIN (OTHER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5004 / False Alarm, NoInvest (Night)		10/29/1998		SUPER USER
10-28-1998 02:04	9910403	CENTRAL AFFILIATES (COMPLAINANT) DEPOT, CB TRAIN (SECONDARY) NOVAKOVSKI, FRANK (SECONDARY)	GARTY, JOHN F. (PRIMARY) (OFFICER) DEPOT, CB TRAIN (SECONDARY) NOVAKOVSKI, FRANK (SECONDARY)	107 PROSPECT PL. HELLSDALE, NJ	5004 / False Alarm, NoInvest (Night)		10/28/1998		SUPER USER
10-16-1998 09:50	9900390	DEPOT, CB (OWNER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	5004 / False Alarm, NoInvest (Day)		10/16/1998		SUPER USER
10-11-1998 22:26	9900380	MARINO, CHRIS (OWNER)	SCORZATO, JOHN (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	4014 / Open Door/Window, Invest of		10/11/1998		SUPER USER
09-21-1998 19:32	9900194	C & M LANDSCAPE CONTRACTORS (DEFENDANT)	C. D. O'NEILL, INSPECTOR (PRIMARY) (OFFICER)	107 PROSPECT PL. HELLSDALE, NJ	0915 / M.V. Comp. Equip., Parts, ETC.		09/21/1998		SUPER USER

Borough of Hillsdale
Investigation Study

107 Prospect Pl.
Block 1209 Lot 5

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PDS Type	Case Disposition	Closed Date	View Documents	Posted By
09/15/2012 16:00	1207846	BRIGLAND, PAUL (DEFENDANT) LAWANOWICZ, DURIE (COMPLAINANT)	HAUGHTON, ADAM R (OFFICER) MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	2681 / Suspicious Activity		09/15/2012		SUPER, USER
04/13/2012 19:59	1203650	ELBERT, ANDREW (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4021 / Suspicion Activity		04/13/2012		SUPER, USER
02/15/2012 16:24	1201863	LAWANOWICZ, DURIE (OWNER)	MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	7038 / Fire Alarm In/Cat of service	PENDING	05/10/2010		SUPER, USER
02/15/2012 16:13	1201401	LAWANOWICZ, DURIE (OWNER)	MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	7038 / Fire Alarm In/Cat of service	PENDING	06/18/2010		SUPER, USER
12/19/2011 17:53	1112706			107 Prospect Pl, HILLSDALE, NJ	6055 / False Alarm - Notified (Day)		12/19/2011		SUPER, USER
06/03/2011 16:59	1156413	KAVALLINES, ANTON J (COMPLAINANT) LAWANOWICZ, DURIE (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	6191 / False Information		06/03/2011		SUPER, USER
02/16/2011 13:18	1104774	LAWANOWICZ, DURIE (OTHER)	MCKEENEY, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4019 / Keep The Peace		06/18/2011		SUPER, USER
02/09/2011 10:54	1104631	HAMZEL, WALDI (COMPLAINANT) LAWANOWICZ, DURIE (OTHER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	7015 / Assistance		06/02/2011		SUPER, USER
04/20/2011 04:19	1103888		MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4281 / Alarm -Machinery Starts Etc.		04/20/2011		SUPER, USER
02/15/2011 00:06	1102447			107 PROSPECT PL, HILLSDALE, NJ	8105 / Break -Used/Excess		03/11/2011		SUPER, USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PDS Type	Case Disposition	Closed Date	View Documents	Posted By
03/02/2011 00:34	1102071	CAVANOLA, ANTHONY (OWNER) GUO, WAI OTHER: LAWANOWICZ, DURIE (OWNER)	DONALDSON, CHRIS (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER) SMITH, SEAN (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4020 / Suspicious Auto		03/02/2011		SUPER, USER
01/09/2011 19:36	1100165	MURPHY, JOHN	MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	1618 / \$500.00 & Over -All Other		01/06/2011		SUPER, USER
12/06/2010 15:41	1101038	LAWANOWICZ, DURIE (COMPLAINANT)	MCLAUGHLIN, DANIEL (OFFICER) TIMBER, JOHN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4021 / Suspicious Activity		10/09/2010		SUPER, USER
08/19/2010 21:28	1008328	LAWANOWICZ, DURIE (OWNER) STATION, CENTRAL (OTHER)	HAUGHTON, ADAM R (OFFICER) STATION, CENTRAL (OFFICER) MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	2004 / False Alarm - Notified (Night)		08/19/2010		SUPER, USER
07/01/2010 13:00	1006070	LAWANOWICZ, DURIE (COMPLAINANT)		107 PROSPECT PL, HILLSDALE, NJ	9121 / False Information		07/01/2010		SUPER, USER
02/24/2010 11:30	1001858	LAWANOWICZ, DURIE (OWNER)		107 PROSPECT PL, HILLSDALE, NJ	7038 / Fire Alarm Work of service		02/24/2010		SUPER, USER
12/31/2009 15:32	9112037	LAWANOWICZ, DURIE (OWNER)		107 PROSPECT PL, HILLSDALE, NJ	9121 / False Information		01/15/2009		SUPER, USER
12/09/2009 09:34	9112440		RODRIGUEZ, LIZ J. (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9054 / Alarm - Normal (High)		12/09/2009		SUPER, USER
10/30/2009 00:23	901296	STATION, CENTRAL (COMPLAINANT)	RODRIGUEZ, LIZ J. (SECONDARY) (OFFICER) SCORDATO, JOHN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9054 / False Alarm - Normal (High)		10/30/2009		SUPER, USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PDS Type	Case Disposition	Closed Date	View Documents	Posted By
09/15/1998 21:40	9807886		FARRELL, THOMAS (OFFICER) NEEDO, MICHAEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of	PENDING	09/18/2015		SUPER, USER
06/15/1998 21:40	9801885	MARINO, CHRIS (OWNER)	FARRELL, THOMAS (OFFICER) NEEDO, MICHAEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of	PENDING	09/18/2015		SUPER, USER
06/09/1998 00:17	9801580	SALERNO, JEANNE (OWNER)	SCORDATO, JOHN (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4020 / Suspicious Auto		06/09/1998		SUPER, USER
06/03/1998 10:55	9801433	DEPT. CB TRAIN (OWNER)	HAMZEL, WALDI (SECONDARY) (OFFICER) NEEDO, MICHAEL (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9052 / False Alarm - Normal (Day)		06/03/1998		SUPER, USER
07/20/1998 16:41	9801708	HENNEBERRY, WILLIAM (COMPLAINANT) MARINO, CHRIS (COMPLAINANT)	MCKEENEY, BRIAN (OFFICER) MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4019 / Keep The Peace		07/20/1998		SUPER, USER
07/14/1998 16:59	9800773	DEPT. CB TRAIN (OWNER) STATION, CENTRAL (COMPLAINANT)	SCORDATO, JOHN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9056 / False Alarm - Normal (Day)		07/14/1998		SUPER, USER
07/01/1998 06:28	9800517		MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		07/01/1998		SUPER, USER
07/03/1998 16:40	9800368	C & M LANDSCAPE CONTRACTORS (OWNER) STATION, CENTRAL (OTHER)	SMITH, SEAN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9050 / False Alarm - Normal (Day)		07/03/1998		SUPER, USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PDS Type	Case Disposition	Closed Date	View Documents	Posted By
07/02/1998 21:11	9800828	C & M LANDSCAPE CONTRACTORS (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER) STUCKEY, PAUL (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		07/02/1998		SUPER, USER
06/20/1998 08:42	9801205		SMITH, SEAN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4010 / Keep The Peace		06/20/1998		SUPER, USER
05/20/1998 01:07	9806112	DEPT. CB TRAIN (OWNER)	MCKEENEY, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		06/26/1998		SUPER, USER
05/12/1998 01:00	9805557	MARINO, CHRIS (OWNER)	MCKEENEY, BRIAN (PRIMARY) (OFFICER) NOVAKOWSKI, FRANK (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		05/12/1998		SUPER, USER
06/10/1998 11:30	9801481	MARINO, CHRIS (COMPLAINANT)	LEIGHTON, PETER (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	2481 / Disrupting the Peace		06/10/1998		SUPER, USER
05/02/1998 01:32	9801328	DEPT. CB TRAIN (OWNER)	MAZZEO, JOSEPH (SECONDARY) (OFFICER) MCKEENEY, BRIAN (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		06/03/1998		SUPER, USER
02/01/1998 18:32	9801489	C & M LANDSCAPE CONTRACTORS (OWNER) STATION, CENTRAL (COMPLAINANT)	SMITH, SEAN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9054 / False Alarm - Normal (High)	PENDING	06/18/2015		SUPER, USER
02/17/1998 06:53	9801480	C & M LANDSCAPE CONTRACTORS (OWNER)	MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9052 / False Alarm - Normal (Day)		05/07/1998		SUPER, USER
02/04/1998 05:21	9801461		MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		05/04/1998		SUPER, USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual PDS Type	Case Disposition	Closed Date	View Documents	Posted By
04/18/1998 16:40	9803877	C & M LANDSCAPE CONTRACTORS (OWNER) STATION, CENTRAL (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER) SMITH, SEAN (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9051 / False Alarm - Normal (Night)		04/18/1998		SUPER, USER
04/03/1998 22:03	9803304	SANTOLI, EUGENE (OWNER)	STUCKEY, PAUL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		04/03/1998		SUPER, USER
02/05/1998 22:23	9801333		SCORDATO, JOHN (OFFICER) WEBSTER, TIMOTHY (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		02/05/1998		SUPER, USER
01/30/1998 10:59	9801021	DEPT. CB TRAIN (OWNER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9050 / False Alarm - Normal (Day)		01/30/1998		SUPER, USER
01/15/1998 22:61	9800463	DEPT. CB TRAIN (OWNER)	SCORDATO, JOHN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		01/13/1998		SUPER, USER
12/31/1997 16:00	9701301	C & M LANDSCAPE CONTRACTORS (OWNER) STATION, CENTRAL (COMPLAINANT)	MCKEENEY, BRIAN (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9055 / False Alarm - Normal (Day)		12/24/1997		SUPER, USER
12/17/1997 16:10	9701305	DEPT. CB TRAIN (OWNER)	STUCKEY, PAUL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		12/17/1997		SUPER, USER
11/20/1997 07:15	9701246	C & M LANDSCAPE CONTRACTORS (DEFENDANT)	MAZZEO, JOSEPH (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9054 / False Alarm - Normal (High)		11/20/1997		SUPER, USER
11/11/1997 22:35	9701208	C & M LANDSCAPE CONTRACTORS (DEFENDANT)	SCORDATO, JOHN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	8114 / Warning - Parking		11/11/1997		SUPER, USER

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09/29/1997 22:30	9701563		HEBERT, KEVIN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		09/29/1997		SUPER, USER
09/23/1997 00:04	9708993		NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9055 / False Alarm - Normal (Day)		09/23/1997		SUPER, USER
09/22/1997 17:02	9708974	C & M LANDSCAPE CONTRACTORS (OWNER) MARINO, THOMAS (COMPLAINANT)	HEBERT, KEVIN (PRIMARY) (OFFICER) PARENTE, FABIO (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	7016 / Assistance		09/22/1997		SUPER, USER
09/19/1997 17:19	9708650	C & M LANDSCAPE CONTRACTORS (COMPLAINANT) OTHER: THOMAS, THOMAS (OTHER)	LEIGHTON, PETER (PRIMARY) (OFFICER) MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	2440 / Disturbing the Peace		09/19/1997		SUPER, USER
08/19/1997 09:43	9708600			107 PROSPECT PL, HILLSDALE, NJ	9050 / False Alarm - Normal (Day)	PENDING	06/18/2015		SUPER, USER
08/09/1997 20:24	9708300	RUZE, MIKE (COMPLAINANT)	MCKEENEY, BRIAN (PRIMARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4027 / Suspicion Activity		08/08/1997		SUPER, USER
08/18/1997 18:17	9708228	LAREZZA, JOSEPH (COMPLAINANT)	MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4023 / Property Damage - Non-Criminal		08/19/1997		SUPER, USER
08/10/1997 01:37	9704507	DEPT. CB TRAIN (OWNER)	MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		08/10/1997		SUPER, USER
04/26/1997 16:10	9704230	J AND L JANITORIAL SERVICE, INC (COMPLAINANT) LANDSCAPE, JOSEPH (SECONDARY) (OFFICER)	PARENTE, FABIO (PRIMARY) (OFFICER) LAWANOWICZ, DURIE (SECONDARY) (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	9026 / \$50.00 - \$200.00 - Auto parts, Acc		04/28/1997		SUPER, USER
24/01/1997 22:14	9703169	DEPT. CB TRAIN (OWNER)	MCKEENEY, BRIAN (OFFICER)	107 PROSPECT PL, HILLSDALE, NJ	4014 / Open Door/Window, Invas of		04/09/1997		SUPER, USER

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02/23/2017 21:30	0911599	DEPOT, CB TRAIN (DEFENDANT)	C.C.O.FIRE/BLD INSPECTOR (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0201 Summons	PENDING	06/18/2018		SUPER, USER
03/03/2017 02:30	0911535	WESTWOOD POLICE DEPARTMENT (OTHER)	OTHER POLICE OFFICER (PRIMARY) (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4014 / Open Door/Windows, Invest of		02/09/1987		SUPER, USER
11/03/1996 21:21	0911072	BTY CHOU, COSTAS (OTHER)	FRANCAGLIA, ROBERT (OFFICER)	107 PROSPECT PLACE, HILSDALE, NJ	4022 / Suspicious Auto		11/03/1985		SUPER, USER
03/29/1996 16:52	0907507	DEPOT, CB TRAIN (COMPLAINANT) (OTHER)	DEPOT, CB TRAIN (COMPLAINANT) (OFFICER)	107 PROSPECT PLACE, HILSDALE, NJ	2206 / Stray Animal	PENDING	06/18/2018		SUPER, USER
09/10/1996 21:46	0906038	GRAPHICS, SAN (OTHER)	MAZZEO, JOSEPH (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4014 / Open Door/Windows, Invest of		06/10/1980		SUPER, USER
03/24/1996 11:27	0906069	BUESER, ROBERT (OTHER)	BUESER, ROBERT (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0921 / EPA Violation (Pesticide/Other)		01/24/1988		SUPER, USER
04/05/2018 07:37	021642854	CAMPORSEALE, MICHAEL (PRIMARY) (OFFICER)	CAMPORSEALE, MICHAEL (OFFICER)	107 PROSPECT PL, HILSDALE, NJ 07642 (STREET)	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	04/05/2018		CAMPORSEALE, MICHAEL
07/07/2017 07:51	091746254	MAZZEO, JOSEPH (SECONDARY) (OFFICER)	MAZZEO, JOSEPH (OFFICER)	107 PROSPECT PL, HILSDALE, NJ 07642 (STREET)	ALARM BURGLARY OR HOLDUP NON RESIDENCE	CLOSED	07/07/2017		ACCORDE, TRAVIS L

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05/17/2015 11:40	2015-04728	DURIE (LAWNMOWER, BUSINESS)	SMITH, THOMAS (OFFICER)	107 PROSPECT PL, HILSDALE, NJ 07642	107 PROSPECT PL, HILSDALE, NJ 07642 (BUSINESS)	CLOSED	05/17/2015		BMTL, THOMAS
06/09/2014 16:23	1403118	BALBILBA, WILLY (DEFENDANT)	RODRIGUEZ, LIZ J (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	1107 / False Alarms - Holdup	CLEAR BY ARREST-ADULT	09/03/2014		SUPER, USER
07/22/2014 07:36	1497863	MAZZEO, JOSEPH (OFFICER)	MAZZEO, JOSEPH (OFFICER)	107 PROSPECT PLACE, HILSDALE, NJ	0905 / False Alarms - Normal (Day)		07/22/2014		SUPER, USER
01/16/2014 12:58	1400648	LAWNMOWER, DURIE (OWNER)	LAWNMOWER, DURIE (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	7838 / Fire Alarm - Hold of service		01/16/2014		SUPER, USER
10/16/2013 16:22	1311374	CAVANOLA, EDWINA (COMPLAINANT)	CARTY, JOHN F (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	1101 / False Alarms - Hold of service		10/16/2013		SUPER, USER
07/12/2013 13:09	1300620	PARRA, ARNOLFO (OTHER)	KAPLAN, ALEX (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4021 / Suspicious Activity		01/21/2013		SUPER, USER
12/23/2012 21:47	0212879	PREP, HILMI (DEFENDANT)	KAPLAN, ALEX (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4020 / Suspicious Auto		12/23/2012		SUPER, USER
11/10/2012 07:42	1291138	LAWNMOWER, DURIE (OWNER)	SAVERS, DAVE (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0926 / False Alarms - Normal (Day)		11/10/2012		SUPER, USER
09/05/2012 14:42	1203478	MARRA, MICHAEL (COMPLAINANT)	MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4021 / Suspicious Activity		09/05/2012		SUPER, USER

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12/05/2009 21:37	0912338	LAWNMOWER, DURIE (OWNER)	ANGERMAYER, JEFFREY (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0204 / Fire Alarms - Normal (Night)		12/05/2009		SUPER, USER
11/03/2009 17:00	0911031	CORTES, CESAR (VICTIM)	SMITH, THOMAS (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0629 / ISO 00-2000-00- Auto, Parts, Acc		11/03/2009		SUPER, USER
03/02/2009 13:33	0903150	CAVANOLA, ANTHONY (COMPLAINANT) (VICTIM)	FRANCAGLIA, ROBERT (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4021 / Suspicious Activity	CLOSED	03/02/2009		SUPER, USER
03/02/2009 01:01	0903065	BIRKEN COUNTY POLICE DEPT (OTHER)	DIEDTRICH JR, WILLIAM (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0934 / Alarm - Fire Entry - Normal (Night)		03/02/2009		SUPER, USER
12/12/2008 03:31	0811465	LAWNMOWER, DURIE (OWNER)	FARRELL, THOMAS (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0904 / False Alarms - Normal (Night)		12/12/2008		SUPER, USER
13/06/2008 21:58	0811342	KENNY, SUSAN C (OTHER)	HAMPTON, ADAM R (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4020 / Suspicious Auto		12/09/2008		SUPER, USER
06/10/2008 21:59	0809955	KENNY, SUSAN C (OTHER)	MOCKEYER, BRIAN (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4020 / Suspicious Auto		06/10/2008		SUPER, USER

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09/17/2008 02:08	0806718	CAVANOLA, ANTHONY (OWNER)	DIEDTRICH JR, WILLIAM (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4014 / Open Door/Windows, Invest of		09/17/2008		SUPER, USER
04/06/2008 10:05	0803304	BECHTEL, PAUL (COMPLAINANT)	LAWNMOWER, DURIE (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	7511 / Knox Box Key Release/Passcode		04/06/2008		SUPER, USER
11/16/2005 21:42	0501244	LAWNMOWER, DURIE (OTHER)	DIEDTRICH JR, WILLIAM (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0904 / False Alarms - Normal (Night)		11/16/2005		SUPER, USER
11/09/2005 10:39	0512581	WESTWOOD POLICE DEPARTMENT (COMPLAINANT)	SMITH, THOMAS (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	7504 / Other Police Dept. Assist to		11/09/2005		SUPER, USER
10/05/2005 21:57	0510724	ARAE, BURHAN (OTHER)	ANGERMAYER, JEFFREY (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4020 / Suspicious Auto		10/05/2005		SUPER, USER
07/02/2005 03:30	0500778	CAPOGNA, RALPH (OTHER)	SCORDATO, JOHN (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	1102 / False Checks (Officer Infra)		07/02/2005		SUPER, USER
06/19/2005 14:38	0500862	CAVANOLA, ANTHONY (OTHER)	ANGERMAYER, JEFFREY (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	1103 / FRAUD		06/18/2015		SUPER, USER
06/21/2005 14:30	0500871	LAWNMOWER, DURIE (OWNER)	DIEDTRICH JR, WILLIAM (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0902 / False Alarms - Normal (Day)		06/21/2005		SUPER, USER

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06/15/2004 23:17	0465227	CARTY, JOHN F (OFFICER)	CARTY, JOHN F (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0205 / False Alarms - Normal (Night)		06/15/2004		SUPER, USER
04/21/2004 13:34	0416222	LAWNMOWER, DURIE (OTHER)	SMITH, SEAN (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0917 / False Information		04/21/2004		SUPER, USER
02/11/2004 07:30	0401543	LAWNMOWER, DURIE (OWNER)	MOCKEYER, BRIAN (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0902 / False Alarms - Responder (Day)		02/11/2004		SUPER, USER
08/28/2003 07:13	0310367	CAVANOLA, ANTHONY (COMPLAINANT)	DONALDSON, CHRIS (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	7010 / Notification	PENDING	06/18/2015		SUPER, USER
03/20/2003 15:57	0302072	CAVANOLA, ANTHONY (COMPLAINANT)	FRANCAGLIA, ROBERT (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0481 / Suspicious Other Types		03/20/2003		SUPER, USER
02/04/2002 09:13	0201636	LAWNMOWER, DURIE (OWNER)	NOVAKOWSKI, FRANK (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0905 / False Alarms - Normal (Day)		02/04/2002		SUPER, USER
01/20/2001 14:37	0100886	LAWNMOWER, DURIE (OWNER)	DONALDSON, CHRIS (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0205 / False Alarms - Normal (Day)	PENDING	06/18/2015		SUPER, USER
07/06/2000 21:30	0007284	DEPOT, CB TRAIN (OTHER)	MOCKEYER, BRIAN (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4014 / Open Door/Windows, Invest of		01/05/2000		SUPER, USER
07/04/2000 09:09	0007187	MCLAUGHLIN, DANIEL (OFFICER)	MCLAUGHLIN, DANIEL (OFFICER)	107 PROSPECT PLACE, HILSDALE, NJ	4014 / Open Door/Windows, Invest of		07/04/2000		SUPER, USER

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05/26/2000 01:29	0002394	CORVAN, RICHARD (OWNER)	MOCKEYER, BRIAN (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	0204 / Open Door/Windows, Invest of	PENDING	06/18/2015		SUPER, USER
01/18/2000 02:39	0000603	LAWNMOWER, DURIE (OWNER)	MOCKEYER, BRIAN (OFFICER)	107 PROSPECT PL, HILSDALE, NJ	4014 / Open Door/Windows, Invest of		01/18/2000		SUPER, USER

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TCM Realty LLC
109 Prospect Pl.
Hillsdale, NJ 07642



Property Use:

Light Industrial

Zone District:

Industrial (I)

Property Acreage:

0.7165

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1209 Lot 6:

1. Assessment:	\$ 902,000
2. Land Value:	\$ 498,800
3. Improvement Value:	\$ 403,200

Property Description:

This property (109 Prospect Place) includes a one story building with large garage bay facing Prospect Place at the northern portion of the building and one large loading bay in the center of the building used for truck loading off Prospect Place.

The building is setback approximately 33 feet from Prospect Place and has two one way driveways on either side of the building that are approximately 12 feet in width to allow access to the rear portion of the property. The north access drive includes what appears to be a newer concrete pad that includes a HVAC unit with a protective bollard as well as the roll out trash bin. This impediment further reduces the driveway width for access to the rear portion of the building. No site lighting was observed on the property.

During multiple site visits large trucks were observed along the southern side and rear portions of the property. In addition, large sixteen wheeler delivery beds were located in the center loading dock. These

delivery beds came to approximately the public right of way and did not include the truck cab. The depth of the loading dock would require trucks to reverse into the loading areas within the public right of way. In addition during delivery the truck cab would be located in the public street in such a manner as to block a portion of the road. The length and duration of this impediment to the public right of way is not known.

There are numerous traffic violations, motor vehicles accidents, noise and odor complaints as well as a municipal ordinance violation, as reflected in the records provided within this document.

The lot is predominantly comprised of impervious area but does include landscape areas along the front of the building. There are no sidewalks along the street frontage and the grades along the rear of the building drain run-off toward the C1 waterway in the rear.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include even (7) traffic violation/ motor vehicle accident, nine (9) noise/odor complaints and one (1) municipal ordinance violation. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement and obsolete layout are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community.
- 2) Per Section 210-60, "Access to truck standing, loading and unloading space shall be provided directly from a public street or alley or from any right-of-way that will not interfere with public convenience and will permit orderly and safe movement of truck vehicles". During several site visits, commercial trucks were observed backing out of the property into the public right of way. This condition creates conflicts with other vehicles within the public right of way, which is detrimental to the safety, health and welfare of the community, as evidenced by the number of violations associated with this property according to the Borough's records. Violations include municipal ordinances, sanitation codes, accidents and noise

complaints.

The Borough's emergency services have also been called to this property to investigate criminal mischief, multiple burglaries and gas leak explosions all of which represent detrimental impacts to the public safety and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 6 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.



Image 1: Loading dock with truck beds in the public right of way



Image 2: Side yard south of the building along Prospect Place.



Image 3: Loading dock with truck beds in the public right of way



Image 4: Loading dock with truck beds in the public right of way



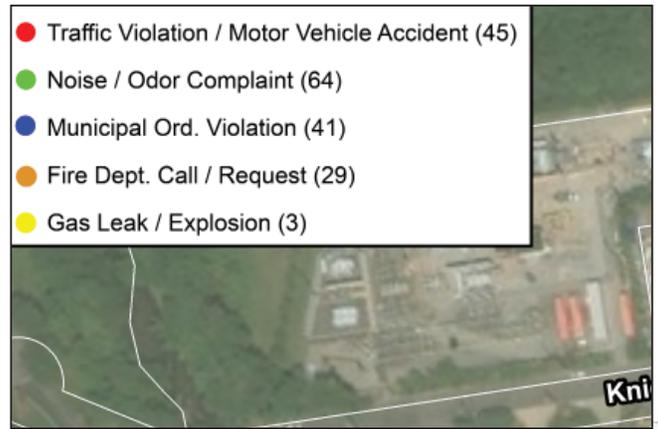
Image 5: Loading dock at the front of the building which requires trucks to back into the public right of way and block the street during loading and unloading.



Image 6: Side yard south of the building along Prospect Place.



Image 7: Violations identified for this property.



Borough Records Concerning Enforcement Actions at the Subject Property:

PD Case Search List

Agency: HILSDALE POLICE DEPARTMENT Location / Address: 109 prospect pl Incident Location Only: YES

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case / Role Type	Location/Address / Loc. Type	Agency Incident / Action / CFS Type	Case Disposition	Closed Date	View Documents	Posted By
08/23/1989 08:20	890884	WESTWOOD BANANA CD INC. OWNER	CARTY, JOHN F. (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	002 / False Alarm - Normal (N/A)		08/23/1989		SUPER, USER
			NOVAKOWSKI, FRANK (SECONDARY) (OFFICER)						
09/10/1989 14:46	890405	WESTWOOD BANANA CD INC. OWNER	SMITH, SEAN (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	002 / False Alarm - Normal (Day)		09/10/1989		SUPER, USER
03/01/1989 17:43	890219	WESTWOOD BANANA CD INC. OWNER	SMITH, SEAN (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	002 / False Alarm - Normal (Day)		03/01/1989		SUPER, USER
01/01/1989 13:54	890205	HILSDALE DRIVE OTHER WESTWOOD BANANA CD INC. COMPLAINANT		109 PROSPECT PL. HILSDALE, NJ	4024 / Water Leaks - More Info. Status: etc.		01/01/1989		SUPER, USER
10/19/1989 08:24	890205	FRECHTER, KARL (COMPLAINANT)	BLESSER, ROBERT (SECONDARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	4014 / Open Down/Windows, Insect, etc.		10/19/1989		SUPER, USER
10/15/1989 18:23	890208	PRODUCTIONS, CASSETTE (DEFENDANT)	BLESSER, ROBERT (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	002 / False Alarm - Normal (Day)	PENDING	05/16/2015		SUPER, USER
09/19/1989 18:40	890414	PRODUCTIONS, CASSETTE (COMPLAINANT)	SCORSIATO, JOHN (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	4021 / Suspicious Activity		09/19/1989		SUPER, USER
08/01/1989 07:27	890100	MAZZEO, JOSEPH (OFFICER) NO. 109 PROSPECT PL. HILSDALE, NJ		109 PROSPECT PL. HILSDALE, NJ	002 / False Alarm - Normal (Day)		08/01/1989		SUPER, USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case / Role Type	Location/Address / Loc. Type	Agency Incident / Action / CFS Type	Case Disposition	Closed Date	View Documents	Posted By
05/07/1995 22:19	892041		WELLS, ROBERT (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	002 / False Alarm - Normal (Night)		05/07/1995		SUPER, USER
05/06/1995 19:40	892036		CARTY, JOHN F. (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	002 / False Alarm - Normal (Day)		05/06/1995		SUPER, USER
05/05/1995 01:40	892038	PRODUCTIONS, CASSETTE (VICTIM)	STUCKEY, PAUL (PRIMARY) (OFFICER)	109 PROSPECT PL. HILSDALE, NJ	0064 / False Alarm - Normal (Night)		05/05/1995		SUPER, USER
04/07/2017 12:34	2017-0080	ASAC (OTHER) DRIVER (LIC) OTHER	SMITH, THOMAS (PRIMARY) (OFFICER)	109 Prospect Pl. Hillsdale, NJ 07642 (BUSINESS) 50 RED AVE. TRENTON, NJ 08610 509 VALLOW GROVE ST. HACKETTSTOWN, NJ 07640	NO ACCIDENT NO INJURIES	CLOSED	04/19/2017	View Documents	SMITH, THOMAS
08/05/2016 13:24	2016-0471	WESTWOOD BANANA COMPANY (OWNER)	FRANZBLAU, LIZ J. (PRIMARY) (OFFICER)	109 Prospect Pl. Hillsdale, NJ 07642 (BUSINESS) 109 PROSPECT PLACE, HILSDALE, NJ 07642	PARKING ENFORCEMENT ISSUED	CLOSED - PARKING ENFORCEMENT	08/07/2016	View Documents	FRANZBLAU, LIZ J.
11/17/2015 09:27	2015-1043	KUSHMAN, MICHAEL (DRIVER) MICHAEL MANKANTSI (OWNER)	MOSES, TRAVIS L. (PRIMARY) (OFFICER)	109 Prospect Pl. Hillsdale, NJ 07642 (BUSINESS) 109 PROSPECT PL. HILSDALE, NJ 07642 (BUSINESS) 605 WINDSOR RD. RUTHERFORD, NJ 07075 (HOME)	PROPERTY DAMAGE REPORT	CLOSED	11/25/2015	View Documents	MOSES, TRAVIS L.
03/05/2015 13:46	2015-1472	WESTWOOD BANANA COMPANY (DEFENDANT)	HAYFLER, KIMBERLY N. (PRIMARY) (OFFICER)	109 Prospect Pl. Hillsdale, NJ 07642	MUNICIPAL ORD. VIOLATIONS / OTHER OFFENSES	NO REPORTING FURTHER ACTION	03/11/2015		HAYFLER, KIMBERLY N.

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual FES Type	Case Disposition	Closed Date	View Documents	Posted By
11/23/2014 09:49	20141224	MARKANTES, NICHOLAS (OTHER) (REVISED, MUGSHOT) (OTHER)	WOODS, TRAVIS L (PRIMARY) (OFFICER)	109 Prospect Place, Hillsdale, NJ 07801 81 PARK AVE, HILLSDALE, NJ, 07802-2100 42 BERKSHIRE RD, RIVER VALLEY, NJ 07843 (HOME)	MOTORIST VIOLATION	CLOSED-SCRAMBLES ISSUED	11/22/2014	View Documents	SCODDOLL, MELLIE
10/23/2013 09:07	1310746	INTERPOL, INC (OWNER) (TRUCK) (OTHER) (WESTWOOD BANANA CO INC) (OWNER)	SMITH, THOMAS (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	8008 / Accident involving Non-Injury		10/02/2013		SUPER USER
06/07/2016 12:29	1005916	WESTWOOD BANANA CO INC (DEFENDANT)	MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	8915 / M.V. Control Speed, Parking ETC		06/07/2016		SUPER USER
04/13/2006 13:14	0503093	MARKANTES, CINDY (COMPLAINANT) (WESTWOOD BANANA CO INC) (VICTIM)	FAIRELL, THOMAS (PRIMARY) (OFFICER) HAMPTON, ADAM R (SECONDARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	1010 / Fugary		04/13/2006		SUPER USER
03/02/2006 05:34	0502240	MARKANTES, TIMOTHY C (COMPLAINANT) (WASTE MANAGEMENT INC OF HILLSDALE, NJ) (DEFENDANT) (WESTWOOD BANANA CO INC) (OWNER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	8618 / M.V. Control Speed, Parking ETC		03/02/2006		SUPER USER
03/02/2006 04:40	0502244	MARKANTES, TIMOTHY C (COMPLAINANT) (WASTE MANAGEMENT INC OF HILLSDALE, NJ) (OWNER) (WESTWOOD BANANA CO INC) (OWNER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	8618 / M.V. Control Speed, Parking ETC		03/02/2006		SUPER USER

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12/29/2005 12:37	0512176	BELZ, CAROL (DRIVER) (DANTONIO, VINNY) (WITNESS) (KAPICICH, TIMOTHY) (WITNESS) (WESTWOOD BANANA CO INC) (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	6008 / Accident involving Non-Injury		12/29/2005		SUPER USER
10/24/2005 12:39	0510428	HILLSDALE FIRE DEPARTMENT (OTHER) (WESTWOOD BANANA CO INC) (OWNER)	NOVAKOWSKI, FRANK (SECONDARY) (OFFICER) SMITH, SEAN (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4010 / Fire Call-Requester F.D.		10/25/2005		SUPER USER
04/29/2005 17:49	0501645	SECURITY ADVANCED (COMPLAINANT) (WESTWOOD BANANA CO INC) (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0503 / False Alarm-Nonresid. (Day)		04/29/2005		SUPER USER
03/21/2005 09:34	0502728	WESTWOOD BANANA CO INC (OWNER)	MAZZEO, JOSEPH (SECONDARY) (OFFICER) NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		03/21/2005		SUPER USER
03/02/2005 04:01	0502708	SECURITY ADVANCED (COMPLAINANT) (WESTWOOD BANANA CO INC) (OWNER)	ANGELOMYER, JEFFREY (SECONDARY) (OFFICER) NOVAKOWSKI, FRANK (SECONDARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		03/02/2005		SUPER USER
03/02/2005 03:25	0502707	SECURITY ADVANCED (COMPLAINANT) (WESTWOOD BANANA CO INC) (OWNER)	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	7002 / Burg-Chips (Off-Res-Ind.)		03/02/2005		SUPER USER
03/16/2005 16:10	0501842	WESTWOOD BANANA CO INC (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0501 / False Information	CLEARED BY ARREST-ADULT	03/16/2005		SUPER USER
03/12/2005 09:24	0501485	RODANOSKI, LEONARD (COMPLAINANT) (WESTWOOD BANANA CO INC) (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	6015 / Noise Complaints		03/12/2005		SUPER USER

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02/12/2005 01:53	0501181	RODANOSKI, LEONARD (COMPLAINANT) (WESTWOOD BANANA CO INC) (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4215 / Noise Complaints		02/12/2005		SUPER USER
02/09/2005 23:35	0501179	RODANOSKI, LEONARD (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4215 / Noise Complaints	PENDING	06/18/2015		SUPER USER
12/26/2004 12:33	0412017	SECURITY ADVANCED (COMPLAINANT) (WESTWOOD BANANA CO INC) (OWNER)	HAMPTON, ADAM R (SECONDARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0503 / False Alarm-Nonresid. (Day)		12/26/2004		SUPER USER
12/09/2004 04:00	0412014	RODANOSKI, LEONARD (COMPLAINANT) (WESTWOOD BANANA CO INC) (DEFENDANT)	CARTY, JOHN F (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4215 / Noise Complaints		12/09/2004		SUPER USER
11/28/2004 13:55	0412070	MARKANTES, TIM DANNIS (SECURITY ADVANCED) (COMPLAINANT)	SMITH, SEAN (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0503 / False Alarm-Nonresid. (Day)		11/28/2004		SUPER USER
11/05/2004 18:08	0412100	WESTWOOD BANANA CO INC (OTHER)	DIEDRICH JR, WILLIAM J (OFFICER) KAWANISHI, SEAN (SECONDARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		11/05/2004		SUPER USER
10/28/2004 20:07	0411061	WESTWOOD BANANA CO INC (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4215 / Noise Complaints		10/28/2004		SUPER USER
09/23/2004 14:45	0410381	WESTWOOD BANANA CO INC (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4215 / Noise Complaints		09/23/2004		SUPER USER
05/20/2004 20:39	0406461	WESTWOOD BANANA CO INC (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4215 / Noise Complaints		05/20/2004		SUPER USER

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08/13/2004 09:20	0403977	RODANOSKI, LEONARD (COMPLAINANT) (ELINE, RUTH L) (OTHER) (STATE BOARD OF HEALTH, OTHER) (WESTWOOD BANANA CO INC) (DEFENDANT)	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4011 / Noise Complaints		06/18/2015		SUPER USER
03/19/2004 16:57	0402969	MARKANTES, LEONARD (OWNER) (WESTWOOD BANANA CO INC) (COMPLAINANT) (MELIARD, CARL) (OTHER)	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	8008 / Accident involving Non-Injury		03/19/2004		SUPER USER
06/24/2003 00:56	0310826	SECURITY ADVANCED (COMPLAINANT) (WESTWOOD BANANA CO INC) (OWNER)	SCORDATO, JOHN (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		05/24/2003		SUPER USER
05/14/2003 08:34	0302747	WASTE MANAGEMENT INC OF HILLSDALE (DEFENDANT) (WESTWOOD BANANA CO INC) (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	8615 / M.V. Control Speed, Parking ETC		05/14/2003		SUPER USER
04/03/2003 10:24	0304896	WISNIOFF, PHILIP (DEFENDANT) (WESTWOOD BANANA CO INC) (COMPLAINANT)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	8514 / Warning Parking		04/03/2003		SUPER USER
03/20/2003 03:41	0303473	ALARM SYSTEMS TOTALLY SECURE (COMPLAINANT) (MARKANTES, TIMOTHY C) (OWNER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		03/20/2003		SUPER USER
02/16/2003 09:14	0301890	MARKANTES, TIM (OWNER)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER) SMITH, THOMAS (SECONDARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0503 / False Alarm-Nonresid. (Day)		02/16/2003		SUPER USER

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02/11/2003 17:06	0300363	ALARM SYSTEMS TOTALLY SECURE (COMPLAINANT) (MARKANTES, NICHOLAS) (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		01/17/2003		SUPER USER
04/24/2002 05:26	0204541		SMITH, SEAN (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	3632 / Lining		04/24/2002		SUPER USER
03/12/2002 17:19	0203564	DAVENPORT, ROBERT J (COMPLAINANT) (WESTWOOD BANANA CO INC) (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4215 / Noise Complaints		03/31/2002		SUPER USER
01/23/2002 16:58	0200666	DAVENPORT, ROBERT J (COMPLAINANT) (WASTE MANAGEMENT INC OF HILLSDALE, NJ) (OTHER) (WESTWOOD BANANA CO INC) (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	4015 / Noise Complaints		01/25/2002		SUPER USER
12/11/2001 09:17	0115384	ALARM SYSTEMS TOTALLY SECURE (OTHER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		12/11/2001		SUPER USER
10/12/2001 06:28	0110197	AMERLINO, DAVID J (OTHER) (WESTWOOD BANANA CO INC) (OTHER)	NOVAKOWSKI, SEAN (OFFICER) MCKEEVER, BRIAN (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		10/12/2001		SUPER USER
08/09/2001 10:41	0110067	ALARM SYSTEMS TOTALLY SECURE (COMPLAINANT) (WESTWOOD BANANA CO INC) (OWNER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Day)	PENDING	06/18/2015		SUPER USER
07/31/2001 09:34	0106444	ALARM SYSTEMS TOTALLY SECURE (COMPLAINANT) (WESTWOOD BANANA CO INC) (OWNER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	0504 / False Alarm-Nonresid. (Night)		07/31/2001		SUPER USER

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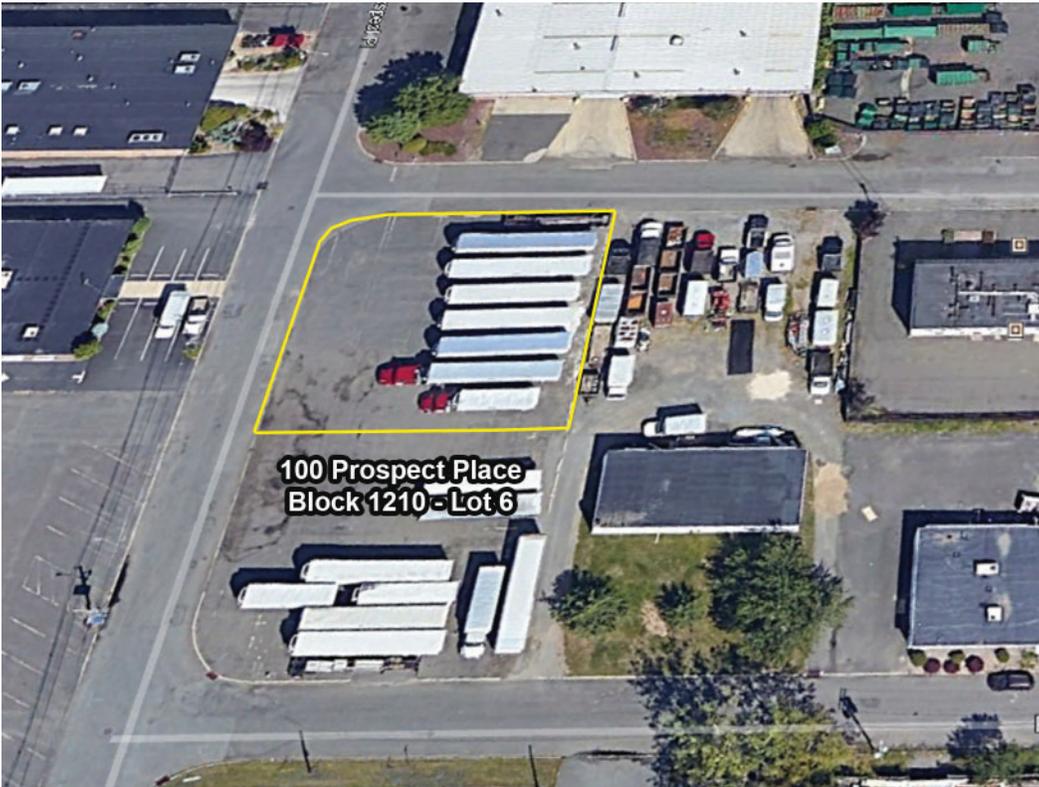
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03/24/2001 15:56	0104201	MARKANTES, TIM (COMPLAINANT) (WESTWOOD BANANA CO INC) (COMPLAINANT)	SMITH, THOMAS (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ	2501 / Littering-Juvenile		03/24/2001		SUPER USER
04/01/2000 18:30	0012005	PEIRO, PERAZA (DRIVER) (WESTWOOD BANANA CO INC) (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	109 PROSPECT PL, HILLSDALE, NJ 511 WEST ST, APT 4, LINCOLN CITY 07838 (HOME)	4001 / Suspicious Auto		04/01/2000		SUPER USER

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Owner: TCM Rity LLC
109 Prospect Place
Hillsdale, NJ 07642

Property Use:
Surface Parking

Zone District:
Industrial (I)

Property Acreage:
0.2365

Permitted Use:
No

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 6:

- | | |
|-----------------------|------------|
| 1. Assessment: | \$ 162,300 |
| 2. Land Value: | \$ 154,500 |
| 3. Improvement Value: | \$ 7,800 |

Property Description:

This property (100 Prospect Place) is a 100% impervious surface parking lot located on the corner of Prospect Place and Brookside Place and is approximately 103 feet by 100 feet. The asphalt parking goes to the back of curb which violates the zoning ordinance that requires a minimum 10 setback for parking. There are no sidewalks, buffers, landscape areas, lighting (either internal or at the street) or storm-water control measures on the site. The site is located within the 300 foot C1 Waterway buffer.

There is a drop curb along the entire length of Prospect Place. The property is currently used as a parking area. The asphalt at the drive entrances have been damaged most likely caused by rain run-off from the site to the public right of way and the thaw / freeze conditions at these locations.

During multiple site visits commercial truck, trailers, and non commercial vehicles were parked within the public right of way adjacent to the existing curbs. Access to the property was requested but was not granted.

Borough Records Concerning Enforcement Actions at the Subject Property:

See attached records for all Fire, Police and Building Department.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The lot includes asphalt parking to the back of curb, which violates the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which states, "Parking areas shall not be closer than 10 feet from any street line". This creates a dangerous condition by having vehicles parked in the public right of way with no sidewalks, buffers or any other pedestrian safety measures, which is detrimental to the safety, health and welfare of the community.
- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area." As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.
- 3) The other conditions that are detrimental to the health safety and welfare include the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.
- 4) In addition, there is a lack of access management given asphalt is located up to the existing curb, which allows vehicles to enter and exit the property along it's entire length. This condition represents a faulty arrangement and design that is dangerous to the health, safety and welfare of other vehicles in the public right of way. This is further exacerbated by the lack of lighting on the property.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 6 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Impervious area with drop curb. Sediment and gravel from property in the public right of way. No sidewalks, lighting or safety measures.



Image 2: Impervious area with drop curb. Truck trailers parked in the public right of way. Curbs damaged from vehicles driving over them. No sidewalks, lighting or safety measures.



Image 3: Impervious area. No sidewalks, lighting or safety measures.



Image 4: Impervious area with drop curb. Truck trailers parked in the public right of way. Curbs damaged from vehicles driving over them. No sidewalks, lighting or safety measures.



Image 5: Impervious area with drop curb. Truck trailers parked in the public right of way. Curbs damaged from vehicles driving over them. No sidewalks, lighting or safety measures.



Property Use:

Surface Parking

Zone District:

Industrial (I)

Property Acreage:

0.2296

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 7:

1. Assessment:	\$ 157,800
2. Land Value:	\$ 150,000
3. Improvement Value:	\$ 7,800

Property Description:

This property (560 Piermont Avenue) is a 100% impervious surface parking lot located on the corner of Prospect Place and Piermont Avenue and is approximately 103 feet by 100 feet. The asphalt parking goes to the back of curb which violates the zoning ordinance which requires a minimum 10 setback for parking. There are no sidewalks, buffers, landscape areas, or any other pedestrian safety measures on the site. In addition, there is no on-site lighting (either internal or at the street) or storm-water control measures on the site and the property is located within the 300 foot C1 Waterway buffer.

There is a drop curb along the entire length of Prospect Place. The property is currently used as a parking area. The asphalt at the drive entrances have been damaged most likely caused by rain run-off from the site to the public right of way and the thaw / freeze conditions at these locations.

During multiple site visits commercial truck, trailers, and non commercial vehicles were parked within the public right of way adjacent to the existing curbs. Access to the property was requested but was not granted.

Borough Records Concerning Enforcement Actions at the Subject Property:

See attached records for all Fire, Police and Building Department.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The lot includes asphalt parking to the back of curb, which violates the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which states, "Parking areas shall not be closer than 10 feet from any street line". This creates a dangerous condition by having vehicles parked in the public right of way with no sidewalks, buffers or any other pedestrian safety measures, which is detrimental to the safety, health and welfare of the community.
- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area." As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.
- 3) The other conditions that are detrimental to the health safety and welfare, include the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area, which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.
- 4) In addition, there is a lack of access management given asphalt is located up to the existing curb, which allows vehicles to enter and exit the property along it's entire length. This condition represents a faulty arrangement and design that is dangerous to the health, safety and welfare of other vehicles in the public right of way. This is further exacerbated by the lack of lighting on the property.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 7 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Impervious parking area with no sidewalks, lighting, pedestrian safety measures. Drainage onto the public right of way with sediment.



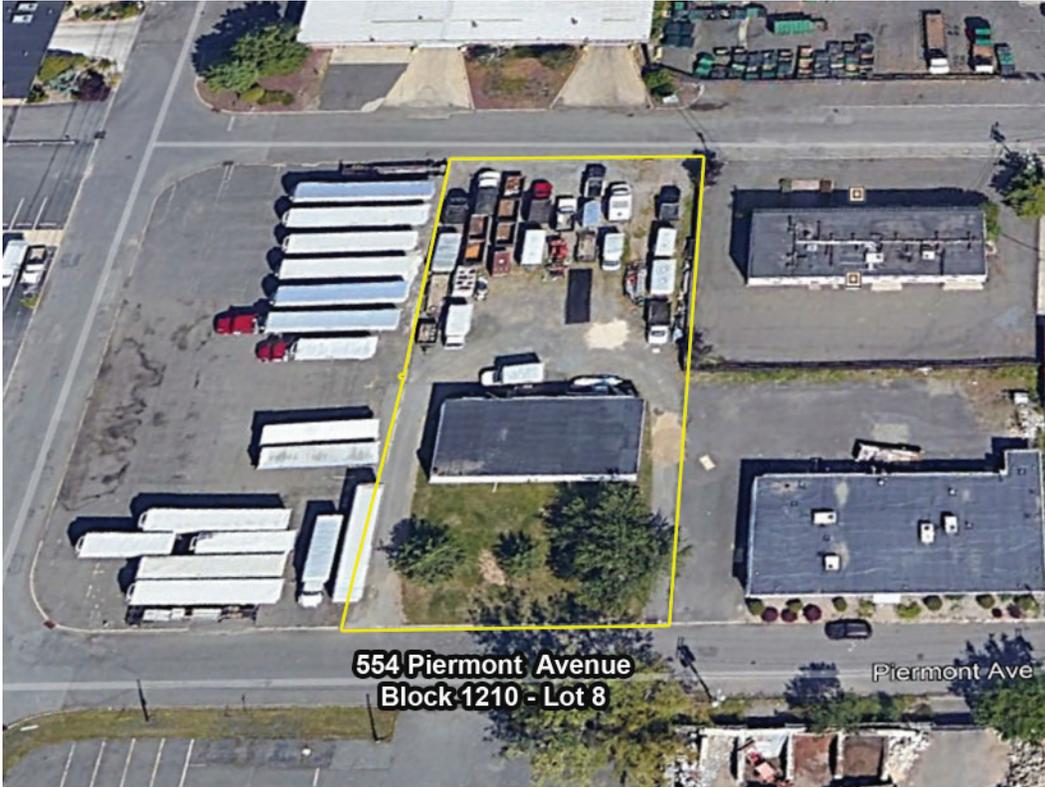
Image 2: Impervious parking area with no sidewalks, lighting, pedestrian safety measures. Drainage onto the public right of way with sediment.



Image 3: Impervious parking area with no sidewalks, lighting, pedestrian safety measures. Truck trailers parked along the street in the public right of way.

554 Piermont Ave.
Block 1210 Lot 8

February 2019



Owner: Joseph Camilleri Jr.
158 West Oldis St.
Rochelle Park, NJ 07662

Property Use:

Commercial

Zone District:

Industrial (I)

Property Acreage:

0.446

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 8:

1. Assessment:	\$ 437,000
2. Land Value:	\$ 400,000
3. Improvement Value:	\$ 37,000

Property Description:

This property (554 Piermont Avenue) includes a one story building concrete building that is being used as an office/studio space. The property is a through lot with two curb cuts on Piermont Avenue and one on Brookside Place and is approximately 100 feet wide by 203 feet deep.

The building is approximately 70 feet wide by 35 feet deep and the building is located approximately 60 feet from Piermont Avenue. The back portion of the lot includes gravel that goes directly to the back of curb along Brookside Place which violates the zoning ordinance along this street, which requires a minimum 10 setback for parking. There are no sidewalks, buffers, landscape areas, or any other pedestrian safety measures on either street frontage and the front door of the building does not include any sidewalk or pedestrian improvements.

In addition, there is no on-site lighting (either internal or at the street) or storm-water control measures on the site. The front of the building includes a large grass area with one driveway on either side of the

building. The drive along the east side of the building is approximately 10 feet while the drive aisle along the west side of the building is approximately 16 feet.

The front door is located in the middle of the building facing Piermont Avenue and does not include a landing, sidewalk or any pedestrian connection to either the street or the drive aisle.

There are no sidewalks, lighting or other pedestrian safety measures along either street frontage. Access to the property was requested but was not granted.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include two (2) municipal ordinance violations and one (1) fire dept call/request. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

Given the lighting located on the building, the ability for vehicles to maneuver within the property without having to back into the public right of way, and the presence of landscape areas that allow stormwater run-off to be captured on site before entering into the stormwater system, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property not be designated.



Image 1: Narrow driveway in side yard



Image 2: Front entrance with no pedestrian access



Image 3: Fence along property line



Image 4: Parking area to the back of curb at Brookside Place.



Image 5: Parking area to the back of curb at Brookside Place.



Image 6: Parking area to the back of curb at Brookside Place.

Borough Records Concerning Enforcement Actions at the Subject Property:

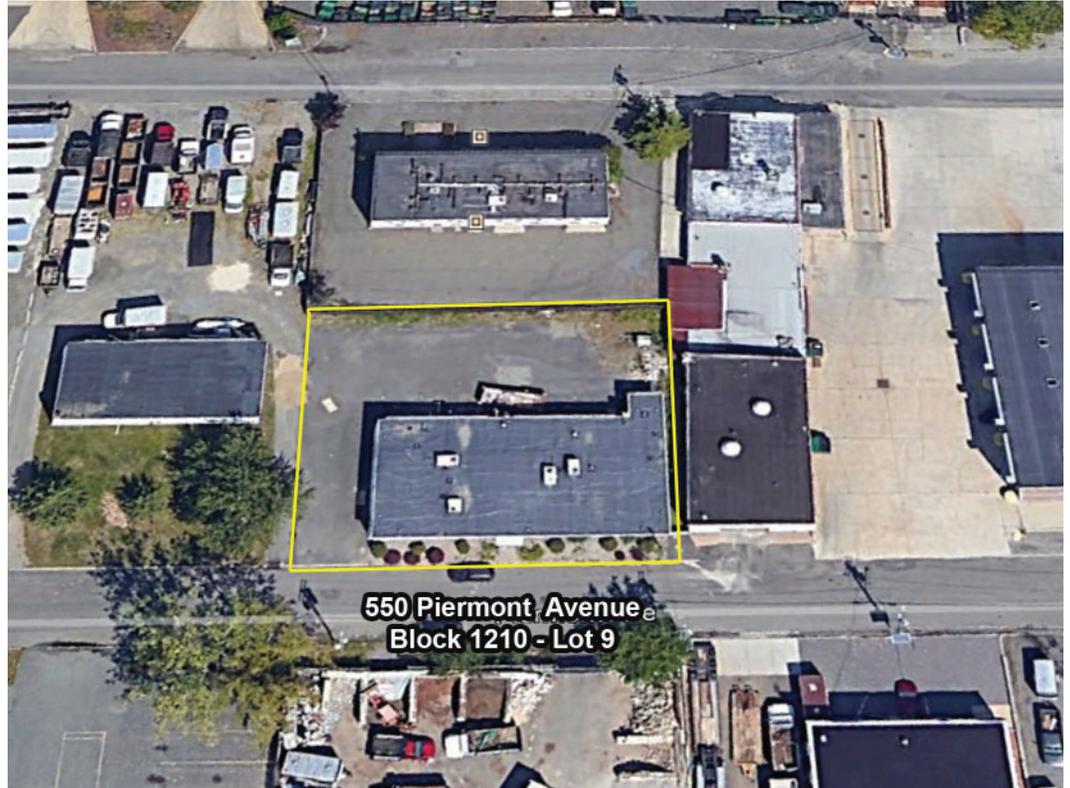
PD Case Search List

Blk 1210/Lot 8

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency / Incident / Actual SFS Type	Case Disposition	Closed Date	View Documents	Posted By
02/20/19 08:57	9919734	PSEBU (OTHER) WOODCRAFTERS OF HELLSDALE (COMPLAINANT)		554 PIERMONT AVE. HELLSDALE, NJ	7500 / PUBLIC SERVICES		03/30/1909		SUPER USER
12/09/19 02:34	9912227	NETS & DAY TOWING (OTHER) WOODCRAFTERS OF HELLSDALE (OWNER)	MCQUEEVER, BRIAN (SECONDARY) (OFFICER) UNKNOWN (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	9610 / Motorist Acc Disabled Inv etc	CLOSED	12/09/1999		SUPER USER
10/16/19 08:46	9910333	CLERI, PAUL (OTHER) VICTIM; PETRIZZO, DANIEL P. (OTHER) WOODCRAFTERS OF HELLSDALE (OWNER)	GARRY, JOHN F. (PRIMARY) (OFFICER) UNKNOWN (SECONDARY) (OFFICER)	344 ST MARYS ST HELLSDALE 07042 (HOME) 554 PIERMONT AVE HELLSDALE, NJ	8804 / Burg Brea	CLEANED BY ARREST-ADULT	10/10/1999		SUPER USER
02/01/19 14:15	9901402	CAMILLERI, JOSEPH (DEFENDANT) MARTINI, PAUL (VICTIM) WOODCRAFTERS OF HELLSDALE (DEFENDANT)	LEIGHTON, PETER (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	9504 / Burg Brea	CLOSED	02/01/1909		SUPER USER
12/15/2013 21:28	1311311	BURHEL, DENNIS E (OTHER)		554 PIERMONT AVE. HELLSDALE, NJ	9200 / Suspicious Auto		10/15/2013		SUPER USER
07/02/2000 08:43	0007963		SMITH, SEAN (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	2840 / Mul. Off. Via Other Notstat.		07/02/2000		SUPER USER
07/02/2009 07:33	0606808	CAMILLERI, CHARLES (OWNER) WOODCRAFTERS OF HELLSDALE (COMPLAINANT)	SAVERS, DAVE (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	2540 / Mul. Off. Via Other Notstat.		07/02/2009		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency / Incident / Actual SFS Type	Case Disposition	Closed Date	View Documents	Posted By
10/08/2008 14:53	0111068	CAMILLERI, JOSEPH (OWNER) OTHER (OTHER) SEANT, KENNETH L (DRIVER)	DEDFRICH, JR, WILLIAM J. (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ			10/08/2008		SUPER USER
10/15/2003 20:57	0111700			554 PIERMONT AVE. HELLSDALE, NJ	4107 / Road The Peace	PENDING	06/18/2015		SUPER USER
10/14/2003 00:15	0111962	CAMILLERI, JOSEPH (OWNER) GAMBINO, ERETO (COMPLAINANT)	STUCKEY, PAUL (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	2480 / Labor dispute	CLOSED	10/14/2003		SUPER USER
07/15/2002 01:15	002096	CAMILLERI, JOSEPH (OWNER)	MCQUEEVER, BRIAN (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	4214 / Open Door/Window, Wind of		03/10/2002		SUPER USER
07/02/2001 20:35	0167302	WOODCRAFTERS OF HELLSDALE (OWNER)	MCQUEEVER, BRIAN (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	4214 / Open Door/Window, Wind of		07/02/2001		SUPER USER
11/09/2000 10:00	0110241	HELLSDALE FIRE DEPARTMENT (OTHER)		554 PIERMONT AVE. HELLSDALE, NJ	4212 / Fire Call Request for F.D.		11/09/2000		SUPER USER
06/04/2000 21:12	0045844	CAMILLERI, JOSEPH (OWNER)	MCQUEEVER, BRIAN (PRIMARY) (OFFICER)	554 PIERMONT AVE. HELLSDALE, NJ	4214 / Open Door/Window, Wind of		06/04/2000		SUPER USER

Owner: C.K.D. Inc.
10 Stone Hollow Rd
Montvale, NJ 07645



Property Use:

Commercial

Zone District:

Industrial (I)

Property Acreage:

0.287

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 9:

1. Assessment:	\$ 484,600
2. Land Value:	\$ 375,000
3. Improvement Value:	\$ 109,600

Property Description:

This property (554 Piermont Avenue) includes a one story building that is approximately 100 feet wide by 50 feet deep on a lot that is approximately 125 feet wide by 100 feet deep. The vast majority of the property is impervious. Access to the property was requested but was not granted.

The building is currently being occupied by a dogie daycare business and includes parking along the side and rear portions of the property. There is one curb cut along the frontage on Piermont Avenue that is approximately 26 feet and is being used as a driveway to access the parking in the rear.

The front door of the building, which is set back approximately 11 feet from Piermont Avenue, includes three steps that lead directly to the back of curb. The front entrance does not have any ADA means of access, nor does the property include a sidewalk along Piermont Avenue. Access to the front of the building would required individuals to walk in the street in order to access the front steps and doorway. An entrance at the rear of the building adjacent to the parking provides ADA access to the building.

There is a landscape area between the building and the back of curb along Piermont Avenue. The dimension of the parking area in the rear is approximately 42 feet which would accommodate head in parking as well as a two lane aisle. The building includes wall mounted lighting at the front and sides of the building.

Borough Records Concerning Enforcement Actions at the Subject Property:

See attached records for all Fire, Police and Building Department.

Redevelopment Designation:

Given there is lighting located on the building, an ability to access the the building from the rear, and for vehicles to maneuver within the property without having to back into the public right of way, and the presence of landscape areas that allow stormwater run-off to be captured on site before entering into the stormwater system, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property not be designated.



Image 1: Building frontage along Piermont Ave.



Image 2: Damage on building along roof line



Image 3: Head in parking with drive aisle in the rear.



Image 4: Front entrance with steps to Piermont Avenue

Owner: USA Waste C/O
Waste Mgmt.
P.O. Box 1450
Chicago, IL 60690



Property Use:

Industrial

Zone District:

Industrial (I)

Property Acreage:

1.17 ac

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 10:

1. Assessment:	\$ 760,900
2. Land Value:	\$ 375,000
3. Improvement Value:	\$ 385,900

Property Description:

This property (131 Patterson Street) is located at the corners of Piermont Avenue, Patterson Street and Brookside Place. The lot, which has access to all three streets with parking located along Piermont Avenue and Patterson Street is approximately 240 feet by 215 feet. There are two separate buildings located on the property with the larger building located along the eastern property line at the corner of Piermont Avenue and Patterson Street. The other smaller building is located along the western property line has entrances on both Brookside Place and Patterson Street.

In addition, there is a large approximately 15 foot pre-fabricated wall located along the length of Patterson Street from the edge of the larger building that terminates at the corner of Brookside Place. The wall extends to within a few feet of the curb line on Brookside Place, which creates visibility issues for vehicles attempting to make a turn from Brookside Place onto Patterson Street.

The larger of the two buildings, includes a two story office along Patterson Street with an open four bay

garage where garbage is dumped and transferred on a daily basis. Access to the garage bays are internal to the property. In addition, there is a one story metal shed attached to the larger building along Piermont Avenue. This building includes deterioration of the grouting along on the Piermont Avenue facade, as well as the multitude of repairs to the metal shed,

The other smaller building, which includes multiple varying spaces that extend from Piermont Avenue to Brookside Place appears to have been constructed in various stages over time, as evidenced by the change in elevations, construction type and disjointed nature of the separate spaces. This building includes an approximately one and a half story garage facing Piermont Avenue as well as a one story office space facing Brookside Place. This building is in poor condition, as evidenced by the significant number of cracks located on the building facade as noted in the images as well as deterioration of the concrete in areas where materials have fallen off the facade specifically facing Piermont Avenue. In addition, the door facing Piermont Avenue along the garage opens toward the public right of way and includes a 2 to 3 inch gap between the threshold and the sidewalk. Given the lack of lighting at the doorway, this represents a dangerous condition.

In general, the property does not have any sidewalks, street lights, or pedestrian safety measures of any kind. The area between the larger building and Piermont Avenue consists of concrete and asphalt from the building facade to the back of curb. This area between the building and the curb along Piermont Avenue is approximately 21 feet and includes four designated parking spaces. Given the dimension between the building and the back of curb any parked vehicles would be required to either back out of or into those spaces within the public right of way. In addition, there is a roof drain that spills out onto the asphalt along the last parking space. Water collected from the roof leaders that are dispersed through the roof drain in this location would flow across the asphalt, through one of the parking spaces and into the public right of way. There are no storm water control measures to divert, collect or control water in this location and given it's proximity to the parking spaces represent a faulty arrangement and design that would be detrimental to the safety, health and welfare of the community.

Along the Patterson Street facade, there appears to be four head in parking spaces located in front of the building, as well as a drop off area and small turn around, located to the north of the building closer to Brookside Place. The asphalt in these areas range from approximately 11 feet to 22 feet from the back of curb to the edge of the parking spaces which is a violation of the zoning ordinance. This would require vehicles to either back into or out of the property within the Patterson Street right of way, a 35 mph posted speed limit. As indicated previously, there are no sidewalks, street lights or any other pedestrian safety measures between the building and the back of curb. In addition, the asphalt in front of the building is in a complete state of disrepair, most likely caused by water draining across the asphalt and being stopped along the face of curb with thaw freeze events causing degradation over time.

The remaining frontage along Patterson Street to Brookside Place is comprised of a large permanent screen wall that appears to be approximately 15 feet in height. During multiple site visits vehicles were parallel parked in this area. The wall terminates less than 3 feet from the curb at Brookside Place. There are no sidewalks in this location or along the entire property length of Brookside Place with the exception of the area in front of the eastern building. The stop sign and stop line for vehicles traveling west on Brookside Place toward Patterson Street is located before the wall. This condition does not allow drivers to adequately and legally stop at the proper location in order to see traffic. This condition requires drivers to pull beyond the stop sign and into a portion of the south bound Patterson Street right of way.

Along Brookside Avenue, the entire length of the property is comprised of concrete paving with no curb, sidewalk, street lights or pedestrian safety measures for the entire length until it meets the smaller building at the west corner of the property. Looking south from Brookside Place toward the building, there are no

visible storm water management control measures. Along the south facing building facade there is a roof drain that spills water directly on the concrete and the grades for this side of the building appear to drain from the property into the public right of way.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include four (4) traffic violation/ motor vehicle accident, twenty two (22) noise/odor complaints, sixteen (16) municipal ordinance violations including and seven (7) fire dept call/request. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) Roof leader lines drain water across the asphalt parking areas / spaces into the public right of way along Piermont Avenue and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot into the public storm water system, which represents a faulty arrangement and design that is detrimental to the health, safety and welfare of the community;
- 2) The door located on the smaller building that faces Piermont Avenue swings open onto the asphalt area and includes a threshold of several inches above the existing grade. In addition, there is no exterior lighting for these areas, which creates a tripping hazard all of which represent a faulty arrangement and design that is detrimental to the health, safety and welfare of the community.
- 3) The area between the building and the public streets along Piermont Avenue and Patterson Streets are insufficient and do not meet the requirements of the Hillsdale Zoning Ordinance (Section 310-58). This deficiency create dangerous conditions, which are detrimental to the safety, health and welfare of the community. The existing dimension between the building and Prospect Place ranges from approximately 21 to 29 feet. The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58) As noted the asphalt parking goes directly to the back of curb along both streets which does not meet this requirement.

The resulting condition leaves less than the required space given drive aisles are required to be a minimum of 12 feet (Section 310.106) for an angle parking configuration. The zoning code also

states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4). Given all of the requirements for the parking, drive aisle width and offset distance from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way, which is dangerous condition that is detrimental to the health, safety and welfare of pedestrians and vehicles. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 4) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community as vehicles are maneuvering within the site when it is dark.
- 5) The location of the approximately 15 foot pre-fabricated wall represents a faulty arrangement and design evidenced by the stop sign being located behind the wall on Brookside Place at the Patterson Street intersection, which does not allow adequate site lines for vehicles without pulling into the Patterson Street right of way. This condition also limits the ability for any sidewalk to be located long that portion of the property, which represents a dangerous condition for pedestrians.
- 6) As noted, the area lacks proper safety measures including sidewalks, pronounced curbs and buffers between the site and the public right of ways. The site does not have any pedestrian safety measures or access management that would direct traffic to certain points along Brookside Place, all of which represent a faulty arrangement and obsolete layout that is detrimental to the health, safety and welfare of the community by allowing vehicles to drive into the site without any control measures. This creates safety concerns for pedestrians along those street frontages.
- 7) The other conditions include the condition of the facade of the long linear building as evidenced by the significant cracks along various areas of the facade as well as pieces of the facade that are missing and appear to have fallen off the building. These conditions are detrimental to the health, safety and welfare of the community, as they could fall onto pedestrians or create tripping hazards within the public right of way. In addition, there is a significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system.

These items represent a faulty arrangement and obsolete layouts which create a detrimental impact on the safety, health and welfare of the community. Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 10 be designated as an area in need of redevelopment.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Building at west edge of property facing interior property depicting large cracks along the facade.



Image 2: Building at west edge of property facing interior property depicting large cracks along the facade.



Image 3: Building at west edge of property depicting grades along edge of property.



Image 4: Door from building without light depicting door threshold off concrete area..



Image 5: Building at west edge of property facing interior property depicting large cracks and missing construction materials along the facade.

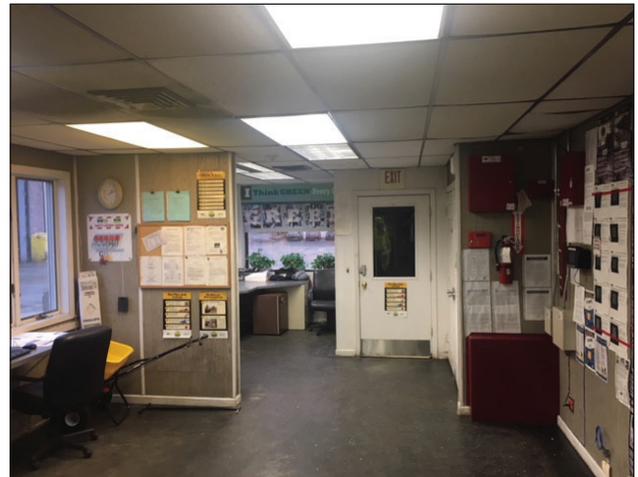


Image 6: Interior office



Image 7: Building at west edge of property facing interior property depicting large cracks along the facade.



Image 8: Building at west edge of property facing interior property depicting large cracks along the facade.



Image 9: Building at west edge of property facing interior property depicting large cracks along the interior walls.



Image 10: Two story building with four garage bays depicting impervious area and grading toward the public right of way. No sidewalks, lighting or access control measures.



Image 11: Two story building along Piermont Avenue with metal shed and head in parking along the building facade. Roof drain shown on the parking and draining to the public right of way.



Image 12: Two story building roof drain onto the parking area along Piermont Avenue.



Image 13: Building along Piermont Avenue with asphalt and concrete depicting grading toward the public right of way with metal shed.



Image 14: Interior of large bay garage with mezzanine level former office.



Image 15: Head in parking along Piermont Avenue with drop curb.



Image 16: Patterson Street facing north depicting parking along the building. Includes significant amount of sediment and debris draining into the public right of way.



Image 17: Patterson Street facing north depicting parking along the building. Includes significant amount of sediment and debris draining into the public right of way.



Image 18: Patterson Street facing north depicting parking along the building. Includes significant amount of sediment and debris draining into the public right of way.



Image 19: Walkway entrance from Patterson Street with no ADA ramp.



Image 20: Large wall along Patterson Street which does not provide adequate area for a sidewalk at the corner of Brookside Place.



Image 21: Large wall along Patterson Street which does not provide adequate area for a sidewalk at the corner of Brookside Place.



Image 22: Large wall along Patterson Street depicting asphalt area in front and a small turn around area adjacent to the front entrance with insufficient room to maneuver outside of the right of way.



Image 23: View of Patterson Street from the driver position legally stopped at the corner, depicting limited view of on-coming traffic.



Image 24: View of Patterson Street from the driver position legally stopped at the corner, depicting limited view of on-coming traffic with stop sign attached to bollard.



Image 25: View of stop sign at Brookside and Patterson Street.



Image 26: View from Brookside Place across impervious lot to the building depicting roof drain.



Image 27: View from Brookside Place across impervious lot to the building depicting roof drain, sediment and fuel tank with missing bollards.



Image 28: View from Brookside Place across impervious lot.

PD Case Search List

Blk 1210/Lot 11

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Role	Location/Address / Lot Type	Agency / Incident / Actual Date	Case Disposition	Closed Date	View Documents	Posted By
04/14/1908 18:10	880383	JANOMOUR, OWNER SYSTEM, SAL-CAR TRANSFER (OTHER)	SCORDATO, JOHN (OFFICER)	538 PIERMONT AVE, HILLSDALE, NJ	4015 / Noise Complaints	Complete	04/14/1908		SUPER USER
04/10/1908 18:00	880340	CARDINALE, THERESA M (COMPLAINANT); LUCIA, GEORGE (OTHER) SYSTEM, SAL-CAR TRANSFER (DEFENDANT)	MCAULOHAN, DANIEL (PRIMARY) (OFFICER)	538 PIERMONT AVE, HILLSDALE, NJ	9005 / Bus Code (Noise/Other) (88)	PENDING	06/18/2015		SUPER USER
04/09/1908 01:18	880370	DAVENPORT, ROBERT (COMPLAINANT)	HARDER, PAUL (PRIMARY) (OFFICER)	538 PIERMONT AVE, HILLSDALE, NJ	4015 / Noise Complaints	Complete	04/09/1908		SUPER USER
03/28/1908 21:55	880311	HUGHES, CHRIS (OTHER) SYSTEM, SAL-CAR TRANSFER (OTHER); TRANSFER, SAL-CAR (OTHER)	MCAULOHAN, DANIEL (PRIMARY) (OFFICER)	538 PIERMONT AVE, HILLSDALE, NJ	4003 / Suspicious Auto.		03/28/1908		SUPER USER
11/25/2003 17:15	3915083	MERRILL, MIKE (OTHER) PRESS-GAS (EMERGENCY) (COMPLAINANT)	DOMALDISON, CHRIS (PRIMARY) (OFFICER)	538 PIERMONT AVE, HILLSDALE, NJ	4012 / Gas Leaks and Explosions		11/28/2003		SUPER USER

Monday, April 23, 2018 8:48:29 AM FRANCESCUA, ROBERT Page 1 of 1

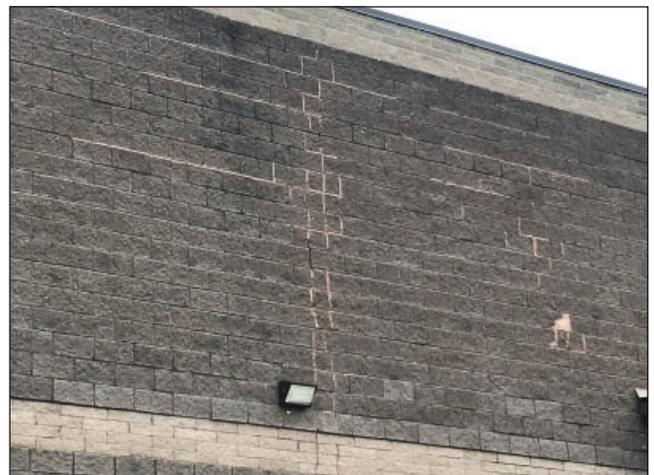
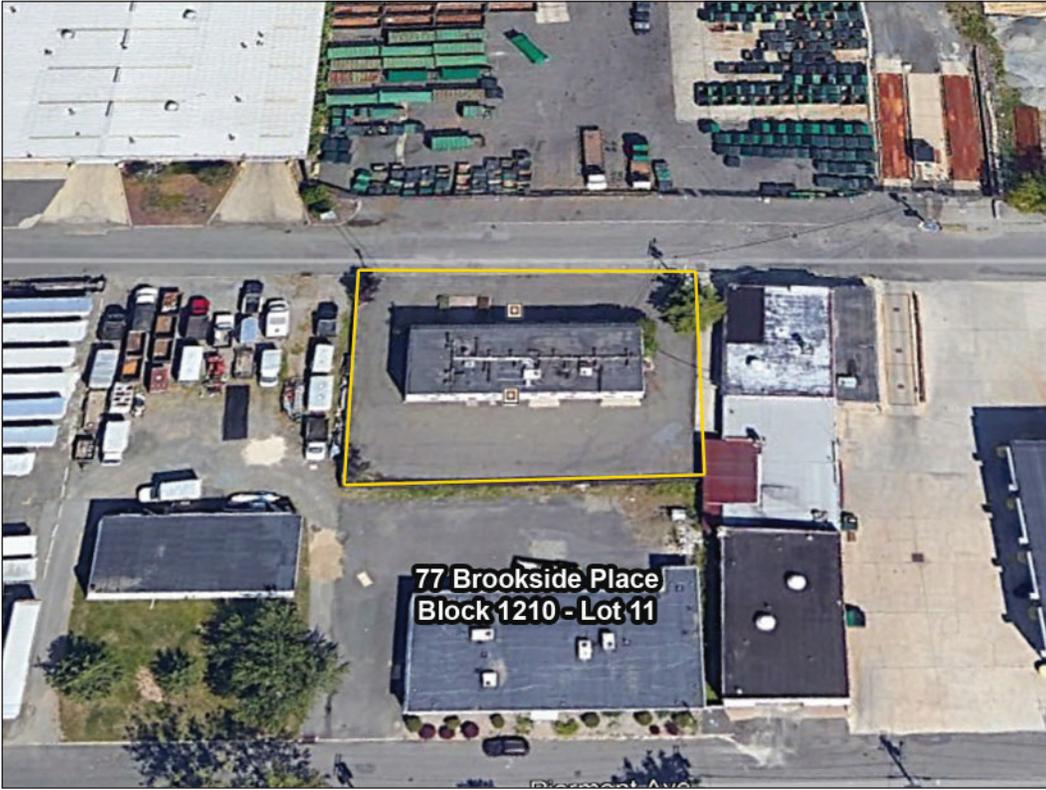


Image 29: View of building facade with grouting issues.

77 Brookside Pl.
Block 1210 Lot 11

February 2019



Owner: USA Waste C/O
Waste Mgmt.
P.O. Box 1450
Chicago, IL 60690

Property Use:

Commercial

Zone District:

Industrial (I)

Property Acreage:

0.2956

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 11:

- | | |
|-----------------------|------------|
| 1. Assessment: | \$ 760,900 |
| 2. Land Value: | \$ 375,000 |
| 3. Improvement Value: | \$ 385,900 |

Property Description:

This property (77 Brookside Place) includes a vacant unused two story office building that is approximately 90 feet by 38 feet. The property is approximately 125 feet wide by 103 feet deep with frontage along Brookside Place and with the exception of a couple of small landscape areas in front of the building the lot is comprised of impervious surfaces including asphalt parking at the front and rear of the building. The property includes two one way drives with on either side of the building off Brookside Place and has a drop curb along the street frontage between the driveways. Although the building is unoccupied, power, heat and water was working in the building.

The building is setback from the existing curb approximately 28 feet and includes head-in parking in front of the building. This dimension does not allow vehicles to park head in without backing into or out of those spaces from the public right of way, however there appears to be adequate space in the rear of the building to allow parking without using the spaces at the front of the building. The street frontage has

not sidewalks, access control measures, or other pedestrian safety improvements to separate pedestrians from vehicles.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include one (1) traffic violation/ motor vehicle accident, two(2) noise/odor complaints and one (1) gas leak/explosion. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

Given the building includes mounted lighting, has landscape areas at the base of the building to deal with stormwater management, allows vehicles to maneuver within the property without having to back into the public right of way, and includes adequate area for parking in the rear of the building, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property not be designated.



Image 1: View of asphalt parking and building along Brookside Avenue with no access control measures, sidewalks or other pedestrian safety measures.



Image 2: View of building roof line with minor damage.



Image 3: View of asphalt parking with head in parking and no area for vehicles to maneuver within the property.



Image 4: View of asphalt parking and grading toward the public right of way with no access control measures.



Image 5: View from Brookside Place across impervious lot to the building.



Image 6: View of parking area in front of the building along the drop curb depicting sediment and damage to the asphalt.



Image 7: View of asphalt parking with no access control measures and significant sediment across the public right of way.



Image 8: View of driveway along the side of the building.



Image 9: View of corner property with sediment in the public right of way.



Image 10: View of corner property with sediment in the public right of way.



Image 11: Interior empty office



Image 12: View of interior stairs



Image 13: View of empty interior hallway



Image 14: View of interior office



Image 15: Interior empty office



Image 16: View of bathroom.

Report Date / Time	FD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
01/24/1988 10:24	860737	JUNQUEIRA, PAULO A (OTHER) (SMOKE, PAULO C) (DEFENDANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ HELLSDALE AVE, HELLSDALE, NJ	8038 / Summons	CLEARED BY JEREST-ADULT	01/29/1988		SUPER USER
01/20/1988 08:14	860642	ANCHOR CARTING CORP (OTHER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		01/29/1988		SUPER USER
01/27/1988 20:07	860646	ANCHOR CARTING CORP (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		01/27/1988		SUPER USER
01/26/1988 04:16	860644	ANCHOR CARTING CORP (DEFENDANT)	NOVAKOVICH, FRANK (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		01/26/1988		SUPER USER
08/22/1988 12:26	860430	ANCHOR CARTING CORP (OTHER) (FRANCO, STEVEN, WITNESS) (SILVA, JOSE DRIVER (OTHER) (WILLIAMS, BENJAMIN (DRIVER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Accident Involving Non-Injury		06/22/1988		SUPER USER
06/20/1988 08:20	860473	ANCHOR CARTING CORP (DEFENDANT) (DAVENPORT, ROBERT J (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER) STUCKEY, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		06/20/1988		SUPER USER
06/19/1988 21:37	860474	ANCHOR CARTING CORP (OTHER) (DAVENPORT, ROBERT J (COMPLAINANT)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints	PENDING	06/18/2015		SUPER USER
04/23/1988 18:29	860351	ANCHOR CARTING CORP (DEFENDANT) (FRANCO, STEVEN, WITNESS) (SILVA, JOSE DRIVER (OTHER) (WILLIAMS, BENJAMIN (DRIVER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER) MAZZEO, JOSEPH (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4014 / Open Description, Involvement of...	PENDING	06/18/2015		SUPER USER

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04/09/1988 18:34	860016	CARDIALE, TERESA W (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Summons		04/19/1988		SUPER USER
04/01/1988 08:28	860018	STATION, CENTRAL (COMPLAINANT) (SYSTEMS, SAL-CAR (TRANSFER OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		04/01/1988		SUPER USER
02/27/1988 18:45	860214	SEVCE, PROTECTIVE ALARM (COMPLAINANT) (SYSTEMS, SAL-CAR (TRANSFER OWNER) (JUVENILE)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		03/23/1988		SUPER USER
02/19/1988 18:40	860184	ANCHOR CARTING CORP (DEFENDANT)	C.C.O. FIRE/BLD INSPECTOR (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Summons		02/19/1988		SUPER USER
02/12/1988 12:06	860184	MULLICA, ARTHUR (DRIVER) (RIZUE, JOSE C (DRIVER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Accident Involving Non-Injury		02/12/1988		SUPER USER
02/05/1988 08:19	860128	HUGHES, CHRIS (OTHER)	WEBSTER, TIMOTHY (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		02/05/1988		SUPER USER
02/01/1988 18:23	860127	TRANSFER, SAL-CAR (DEFENDANT) (JUVENILE)	WEBSTER, TIMOTHY (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		02/01/1988		SUPER USER
02/01/1988 01:58	860135	SEVCE, PROTECTIVE ALARM (COMPLAINANT)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		02/01/1988		SUPER USER
01/27/1988 02:25	860011	ANCHOR CARTING CORP (DEFENDANT) (DAVENPORT, ROBERT J (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		01/27/1988		SUPER USER

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01/25/1988 09:58	860086	SEVCE, PROTECTIVE ALARM (OTHER) (SYSTEMS, SAL-CAR (TRANSFER OWNER)	LEIGHTON, PETER (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		01/25/1988		SUPER USER
01/25/1988 08:25	860085	SEVCE, PROTECTIVE ALARM (OTHER) (SYSTEMS, SAL-CAR (TRANSFER OWNER)	LEIGHTON, PETER (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		01/25/1988		SUPER USER
01/24/1988 03:28	860019	ANCHOR CARTING CORP (DEFENDANT) (DAVENPORT, ROBERT J (COMPLAINANT)	SCORDATO, JOHN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		01/24/1988		SUPER USER
01/23/1988 18:29	860090	SYSTEMS, SAL-CAR (TRANSFER DEFENDANT) (TRANSFER, SAL-CAR (DEFENDANT) (JUVENILE)	STUCKEY, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		01/23/1988		SUPER USER
01/21/1988 11:20	860087	SYSTEMS, SAL-CAR (TRANSFER DEFENDANT)	NOVAKOVICH, FRANK (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		01/21/1988		SUPER USER
01/20/1988 03:20	860078	STATION, CENTRAL (COMPLAINANT) (SYSTEMS, SAL-CAR (TRANSFER OWNER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		01/20/1988		SUPER USER
12/26/1987 18:10	871545	STATION, CENTRAL (COMPLAINANT) (TRANSFER, SAL-CAR (DEFENDANT) (JUVENILE)	OTHER POLICE OFFICER (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		12/26/1987		SUPER USER
12/26/1987 18:30	871543	ANCHOR CARTING CORP (OWNER) (SEVCE, PROTECTIVE ALARM (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		12/26/1987		SUPER USER
12/19/1987 12:00	871207	ANCHOR CARTING CORP (DEFENDANT)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Summons		12/19/1987		SUPER USER

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01/24/1988 06:41	871268	ANCHOR CARTING CORP (DEFENDANT) (SEVCE, PROTECTIVE ALARM (COMPLAINANT)	LEIGHTON, PETER (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		01/24/1988		SUPER USER
12/23/1987 09:50	871277		MCKEEVER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		12/23/1987		SUPER USER
11/29/1987 22:23	8712470	ANCHOR CARTING CORP (DEFENDANT)	WEBSTER, TIMOTHY (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		11/29/1987		SUPER USER
11/21/1987 04:10	8712312		FRANCISGLIA, ROBERT (PRIMARY) (OFFICER) SMITH, SEAN (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		11/21/1987		SUPER USER
11/01/1987 18:59	8711511	MANAGEMENT, ADVANCED RESOURCE (OTHER) (MARRINO, JOSE A (DRIVER) (RYAN, JOSE A (OTHER) (VEZ, LEASING, INTEK MOTOR (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Accident Involving Non-Injury		11/01/1987		SUPER USER
10/22/1987 06:15	8711027	ANCHOR CARTING CORP (OWNER) (HUGHES, CHRIS (COMPLAINANT)	WEBSTER, TIMOTHY (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Summons		10/22/1987		SUPER USER
08/29/1987 13:20	8710719	ANCHOR CARTING CORP (DEFENDANT)	C.C.O. FIRE/BLD INSPECTOR (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Summons		08/29/1987		SUPER USER
08/15/1987 14:10	8709661	CAYLE, BUNNY A (OTHER) (SLAMAN, ARTHUR (DRIVER)	SCORDATO, JOHN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Accident Involving Non-Injury		08/15/2015		SUPER USER

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08/01/1987 17:43	8709912	ANCHOR CARTING CORP (OTHER) (DAVENPORT, ROBERT J (COMPLAINANT) (KARTEN, KENNETH R (OTHER)	HARDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		08/01/1987		SUPER USER
08/01/1987 14:24	8708063	DAVENPORT, ROBERT J (COMPLAINANT)	SMITH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		08/01/1987		SUPER USER
08/05/1987 18:04	8708203	SANITATION, FRANCO (DEFENDANT) (STATION, CENTRAL (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		08/05/1987		SUPER USER
08/24/1987 18:27	8708260	DAVENPORT, ROBERT J (COMPLAINANT) (DAVENPORT, ROBERT J (DEFENDANT)	MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) STUCKEY, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0622 / EPA Violation (P/AN/Inspector)		08/24/1987		SUPER USER
08/01/1987 18:52	8707943	SYSTEMS, SAL-CAR (TRANSFER (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER) STUCKEY, PAUL (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		08/01/1987		SUPER USER
01/23/1987 08:07	8707864	CHASE, STAN (VICTIM) (MULLICA, ARTHUR (AMBULANCE CORP) (CAREGIVER) (PARAMS, POLICE DEPT (OTHER) (SANITATION, FRANCO (COMPLAINANT)	MCKEEVER, BRIAN (SECONDARY) (OFFICER) WEBSTER, TIMOTHY (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	7039 / Medical Assistance		01/23/1987		SUPER USER
01/13/1987 02:20	8707216		MCKEEVER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		01/13/1987		SUPER USER
01/14/1987 01:40	8707203	MAINTENANCE, BROOKSIDE (DEFENDANT) (MARRINO, JOSE A (DRIVER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER) MCKEEVER, BRIAN (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		01/14/1987		SUPER USER

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07/07/1987 14:45	8706848	ANCHOR CARTING CORP (DEFENDANT)	C.C.O. FIRE/BLD INSPECTOR (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	8000 / Summons		07/07/1987		SUPER USER
07/07/1987 08:29	8706831	ANCHOR CARTING CORP (DEFENDANT)	HARDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Day)		07/07/1987		SUPER USER
08/19/1987 05:04	8706838	DAVENPORT, ROBERT J (COMPLAINANT) (LUCIA, GEORGINA (OTHER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		08/19/1987		SUPER USER
08/23/1987 01:37	8705110	SANITATION, FRANCO (DEFENDANT)	CARTY, JOHN F (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		08/23/1987		SUPER USER
04/28/1987 21:50	8704244	MAINTENANCE, BROOKSIDE (DEFENDANT)	MCKEEVER, BRIAN (SECONDARY) (OFFICER) NOVAKOVICH, FRANK (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	0624 / False Alarm- Nonresid (Night)		04/28/1987		SUPER USER
04/08/1987 08:00	8703824	ANCHOR CARTING CORP (DEFENDANT) (DAVENPORT, ROBERT J (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		04/08/1987		SUPER USER
04/08/1987 04:41	8703824	ANCHOR CARTING CORP (DEFENDANT) (DAVENPORT, ROBERT J (COMPLAINANT) (SANITATION, FRANCO (DEFENDANT) (MARRINO, JOSE A (DRIVER) (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HELLSDALE, NJ	4015 / Noise Complaints		04/08/1987		SUPER USER
03/05/1987 15:11	8702252			77 BROOKSIDE PL, HELLSDALE, NJ	0624 / Mult. Off. Vio. Other Nonresid		03/05/1987		SUPER USER
03/05/1987 10:14	8702249	ANCHOR CARTING CORP (OWNER) (LUCIA, GEORGINA (OTHER)		77 BROOKSIDE PL, HELLSDALE, NJ	0624 / Mult. Off. Vio. Other Nonresid		03/05/1987		SUPER USER

Borough of Hillsdale
Investigation Study

77 Brookside Pl.
Block 1210 Lot 11

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02/28/1987 08:48	970283	L BEARS SANDRA (DEFENDANT)		77 BROOKSIDE PL, HILLSDALE, NJ 07631	1640 / Mur, 1st Vio Other Nonoff	PENDING	05/18/2019		SUPER USER
03/21/1987 13:56	970322	ANCHOR CARTING CORP (CHASER) LUCKA, GEORGE (OTHER)		77 BROOKSIDE PL, HILLSDALE, NJ	640 / MVA, 1st Vio Other Nonoff		03/21/1987		SLPRR USER
03/28/1987 17:06	970192	ANCHOR CARTING CORP (DEFENDANT)	C. C. O. FIREBLD, INSPECTOR (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	9300 / Summonses	PENDING	06/18/2019		SUPER USER
03/29/1987 07:26	970193	SERVICE PROTECTIVE ALARM (OTHER) SYSTEMS, SAL-CAR TRANSFER (DEFENDANT)	NOVAKOVSKI, FRANK (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	3620 / False Alarm (Night)		03/29/1987		SUPER USER
03/29/1987 07:16	970190	SERVICE PROTECTIVE ALARM (OTHER) SYSTEMS, SAL-CAR TRANSFER (DEFENDANT)	HARDER, PAUL (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4010 / Fire Code Request for F.O.		03/29/1987		SLPRR USER
11/20/1986 02:27	901302	A. CASTELLO CARLOS (OTHER) CASTELLO, CARLOS A (VICTIM) SANITATION, FRANCO (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	7000 / Lock Out M.V., Reck, Etc		11/20/1986		SUPER USER
11/28/1986 03:32	901300	CARDINAL, E (COMPLAINANT) THIBREDA, M (DEFENDANT)	FARRELL, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaint		11/28/1986		SUPER USER
10/11/1986 12:44	981968	ANCHOR CARTING CORP (CHASER) SERVICE PROTECTIVE ALARM (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	3504 / False Alarm Nonresid (Night)		10/11/1986		SLPRR USER

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08/23/1986 10:48	960848	ANCHOR CARTING CORP (DEFENDANT) CARDINALE, THERESA M (COMPLAINANT) LUCKA, GEORGE (OTHER)	FRANCISVALIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4013 / ODRR Complaint/Investigation		08/23/1986		SUPER USER
07/31/1986 08:11	960713	AMMA, JOSEPH M (OTHER) CHAPMAN, DOUGLAS (OTHER) WELLS TRUCKING INC (OTHER)	MCLAUGHLIN, DANIEL (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	8008 / Assisted Involving Non-Fire		07/31/1986		SUPER USER
07/29/1986 18:50	960148	UNKNOWN (COMPLAINANT)	HARDY, PETER (OFFICER) LEBANTON, PETER (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4021 / Suspicious Activity	PENDING	06/18/2019		SUPER USER
06/29/1986 11:44	960587	SYSTEMS, SAL-CAR TRANSFER (DEFENDANT) TRANSFER, SAL-CAR (DEFENDANT)	C. C. O. FIREBLD, INSPECTOR (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	8308 / Summonses		05/28/1986		SUPER USER
03/13/1986 12:37	960387	ANCHOR CARTING CORP (DEFENDANT)	C. C. O. FIREBLD, INSPECTOR (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	8308 / Summonses		03/13/1986		SUPER USER
03/01/1986 09:12	960263	SANITATION, FRANCO (DEFENDANT)	FRANCISVALIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	3605 / False Alarm Nonresid (Day)		03/01/1986		SUPER USER
01/00/1986 08:30	960214	ANCHOR CARTING CORP (DEFENDANT)	HARDER, PAUL (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	3605 / False Alarm Nonresid (Day)		01/00/1986		SUPER USER

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01/20/1986 08:28	960126	ANCHOR CARTING CORP (COMPLAINANT) BCI (OTHER) CHIRCO, SAL (COMPLAINANT) SULLIVAN, RICHARD W (DEFENDANT)	NEGO, MICHAEL (PRIMARY) (OFFICER) STUCKEY, PAUL (SECONDARY) (OFFICER) SULLIVAN, RICHARD W (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	2607 / B.O. 00P & Civ. From Building		01/20/1986		SUPER USER
01/29/1986 10:15	960193	ANCHOR CARTING CORP (VICTIM) CHIRCO, SAL (COMPLAINANT) SULLIVAN, RICHARD W (DEFENDANT) SYSTEMS, SAL-CAR TRANSFER (VICTIM) TRANSFER, SAL-CAR (OTHER)	NEGO, MICHAEL (SECONDARY) (OFFICER) STUCKEY, PAUL (PRIMARY) (OFFICER) UNKNOWN (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0721 / Truck-Street Comm/Arre	CLEARED BY ARREST-ADULT	01/29/1986		SUPER USER
01/20/1986 12:39	960039		FARRELL, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	5002 / False Alarm Nonresid (Day)		01/20/1986		SUPER USER
01/18/1986 00:43	960045	CALLENBERIE, JOHN (COMPLAINANT)	MAZZEO, JOSEPH (OFFICER) NOVAKOVSKI, FRANK (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaint		01/18/1986		SUPER USER
12/28/1985 08:83	950784	ANCHOR CARTING CORP (DEFENDANT) CARDINALE, THERESA M (COMPLAINANT)	C. C. O. FIREBLD, INSPECTOR (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaint		12/28/1985		SUPER USER
12/16/1985 18:01	950774		HARDY, PETER (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	3605 / False Alarm Nonresid (Day)		12/16/1985		SUPER USER
12/15/1985 08:30	950738	SYSTEMS, SAL-CAR TRANSFER (DEFENDANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	5002 / False Alarm Nonresid (Day)	PENDING	06/18/2019		SUPER USER

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12/08/1985 05:08	950728	SYSTEMS, SAL-CAR TRANSFER (DEFENDANT)	FRANCISVALIA, ROBERT (SECONDARY) (OFFICER) HARDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	2602 / False Alarm - Residenc (Day)		12/08/1985		SUPER USER
11/21/1985 12:27	950671	HILLSDALE AMBULANCE CORP (CAREGIVER) SANITATION, FRANCO (COMPLAINANT) SIEBER, RAYMOND (VICTIM)	RUISSER, ROBERT (OFFICER) FARRELL, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	7208 / Medical Assistance		11/21/1985		SUPER USER
10/14/1985 20:58	950629		FARRELL, THOMAS (SECONDARY) (OFFICER) FRANCISVALIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Windows, Inveat of		10/14/1985		SUPER USER
10/11/1985 10:42	950604	RECYCLING, AMERICAN (DEFENDANT)	C. C. O. FIREBLD, INSPECTOR (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	2838 / Bulb Code (Main, Ord, Vi 050)		10/11/1985		SUPER USER
10/11/1985 10:38	950603	RECYCLING, AMERICAN (DEFENDANT) (JUVENILE)	C. C. O. FIREBLD, INSPECTOR (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	2838 / Bulb Code (Main, Ord, Vi 050)		10/11/1985		SUPER USER
10/10/1985 12:26	950608	LUCKA, GEORGE (OTHER)		77 BROOKSIDE PL, HILLSDALE, NJ	2834 / Fire Code (Main, Ord, Vi 050)	PENDING	06/18/2019		SUPER USER
08/22/1985 11:13	950404	SUBARU LEASING CORP (OTHER)	RUISSER, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	8008 / Assisted Involving Non-Fire		08/22/1985		SUPER USER
08/17/1985 03:01	950422		CARTY, JOHN F (PRIMARY) (OFFICER) SCORPATO, JOHN (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Windows, Inveat of		08/17/1985		SUPER USER

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08/11/1985 17:37	950393		FARRELL, THOMAS (PRIMARY) (OFFICER) FRANCISVALIA, ROBERT (SECONDARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	2002 / False Alarm Nonresid (Day)		08/11/1985		SUPER USER
08/11/1985 18:01	950321	MARRANGI, SANITATION INC (DEFENDANT) STARR, MATTHEW (DEFENDANT)	C. C. O. FIREBLD, INSPECTOR (OFFICER) STUCKEY, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	5308 / Summonses		08/11/1985		SUPER USER
08/04/1985 08:10	950310	SANITATION, FRANCO (OTHER)	C. C. O. FIREBLD, INSPECTOR (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	3034 / Fire Code (Main, Ord, Vi 050)	PENDING	06/18/2019		SUPER USER
08/20/1985 07:00	950140		MAZZEO, JOSEPH (OFFICER) STUCKEY, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	5003 / False Alarm Nonresid (Day)		08/20/1985		SUPER USER
08/16/1985 18:50	950049		MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	3204 / False Alarm Nonresid (Night)		05/16/1985		SUPER USER
04/05/2018 06:22	0818-0382		MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ 07642 (STREET)	NOISE COMPLAINT	CLOSED	04/05/2018		MAZZEO, JOSEPH
01/18/2018 11:02	0818-0096	IRVINE, STEWART A (OTHER)	VINDOS, TRAVIS L (PRIMARY) (OFFICER)	908 PONTE AVE, BRICK, NJ 07640 (HOUSE) 77 BROOKSIDE PL, HILLSDALE, NJ 07642 (STREET)	LOCK OUT	CLOSED	01/18/2018		VINDOS, TRAVIS L
09/13/2017 02:11	2017-0048	THORNTON, DEBORAH (OTHER) THORNTON, MICHAEL (OTHER)	DONALDSON, CHRIS (PRIMARY) (OFFICER) CHIRCO, SAL (SECONDARY) (OFFICER)	411 NEWARK AVENUE, #1 PLEASANT B, NJ 07642-1443 (HOUSE) 77 BROOKSIDE PL, HILLSDALE, NJ 07642 (STREET) 88 RAINWOOD DRIVE, BRICK NJ 07624-4442 (HOME)	SUSPICIOUS ACTS GENERAL COMPLAINT	CLOSED	09/10/2017		CHIRCO, SAL

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09/05/2014 21:40	2014-1003		MULLAL, JAG, PO (PRIMARY) (OFFICER)	77 Brookside Place, Hillsdale, NJ 07642	FIRE - ALL WORKING FIRES	CLOSED	09/05/2014		RICE, KEVIN
11/11/2013 17:52	130218	WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4015 / Noise Complaint		11/11/2013		SUPER USER
08/04/2013 13:38	130843			77 BROOKSIDE PLACE, HILLSDALE, NJ	7208 / Fire Alarm In-Cat of service	PENDING	06/18/2019		SUPER USER
10/11/2012 03:17	120187	SERVICE PROTECTIVE ALARM (COMPLAINANT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	9604 / False Alarm Nonresid (Night)		10/11/2012		SUPER USER
10/16/2012 20:57	120180	WASTE MANAGEMENT INC OF HILLSDALE (DEFENDANT)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7208 / Fire Alarm In-Cat of service		10/16/2012		SUPER USER
08/18/2012 18:22	120669	HOAG, FREDERICK (COMPLAINANT) WASTE MANAGEMENT INC OF HILLSDALE (DEFENDANT)	SAVERIO, DAVE (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4015 / Complaint/Investigation		10/10/2012		SUPER USER
07/18/2012 02:10	120684	SERVICE PROTECTIVE ALARM (COMPLAINANT)		77 BROOKSIDE PL, HILLSDALE, NJ	6504 / False Alarm Nonresid (Night)		07/18/2012		SUPER USER
07/18/2012 01:23	120506	SANITATION, FRANCO (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	6504 / False Alarm Nonresid (Night)		07/18/2012		SUPER USER
08/19/2012 22:28	120689		SAVERIO, DAVE (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	6507 / False Alarm Nonresid (Day)		08/19/2012		SUPER USER

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08/19/2018 18:43	125684	CARY JOHN F (OFFICER)	CARY JOHN F (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Day)		08/19/2018		SUPER USER
03/26/2018 03:38	103517	HARM, RICHARD F (OTHER)	GRUZ, RAMON (PRIMARY) (OFFICER) HAMPTON, ADAM B (SECONDARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		03/26/2018		SUPER USER
09/23/2011 01:33	110697		RODRIGUEZ, LIZ J (SECONDARY) (OFFICER) SCORDATO, JOHN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		09/23/2011		SUPER USER
08/22/2011 07:30	110781	PESE, OTHER	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4008 / Electric Light Outages		08/22/2011		SUPER USER
05/22/2011 03:30	110430	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	DIEDTRICH JR, WILLIAM (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		05/22/2011		SUPER USER
03/27/2011 20:48	110370	PENA, LISA A (DEFENDANT)	SAVERS, DAVE (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		03/27/2011		SUPER USER
12/25/2010 10:51	107078	WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7508 / Fire Alarm In/Out of service		10/25/2010		SUPER USER
10/23/2010 07:23	105047	SERVICE PROTECTIVE ALARM (OTHER)	SMITH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0501 / False Alarm- Noisest (Day)		10/23/2010		SUPER USER

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10/10/2010 18:52	101046	PENA, LISA A (DEFENDANT)	SMITH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0505 / False Alarm- Noisest (Day)		10/10/2010		SUPER USER
09/29/2010 17:56	100756	SECURITY, T F (OTHER)	CARY JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0501 / False Alarm- Noisest (Day)		09/29/2010		SUPER USER
08/13/2010 21:15	100581	SECURITY, T F (OTHER)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		08/13/2010		SUPER USER
04/04/2010 09:24	100347	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER) DIEDTRICH JR, WILLIAM (SECONDARY) (OFFICER)	ANGERMAYER, JEFFREY (PRIMARY) (OFFICER) DIEDTRICH JR, WILLIAM (SECONDARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0503 / False Alarm- Noisest (Day)		04/04/2010		SUPER USER
03/28/2010 13:58	100246	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0506 / False Alarm- Noisest (Day)		03/28/2010		SUPER USER
12/18/2009 18:30	992256	APR, CAMERON (PRIMARY) (OFFICER)	APR, CAMERON (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		12/18/2009		SUPER USER
10/07/2009 09:41	980803	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7508 / Fire Alarm In/Out of service		10/07/2009		SUPER USER

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09/29/2009 12:42	950742	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7508 / Fire Alarm In/Out of service	PENDING	09/18/2016		SUPER USER
06/26/2009 02:36	950531	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	DIEDTRICH JR, WILLIAM J (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		06/26/2009		SUPER USER
06/04/2009 14:05	950561	PROTECTION AGENCY, ENVIRONMENTAL (COMPLAINANT)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7070 / Notifications		06/04/2009		SUPER USER
05/07/2009 16:06	950415	HILLSDALE FIRE DEPARTMENT (OTHER)	DONALDSON, CHRIS (SECONDARY) (OFFICER) MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4010 / Fire Call- Request for F.D.	PENDING	05/18/2015		SUPER USER
05/07/2009 02:36	950450	RECYCLING (AMERICAN OTHER)	CARY JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		05/07/2009		SUPER USER
05/05/2009 11:29	950310	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0505 / False Alarm- Noisest (Day)		05/05/2009		SUPER USER
1/04/2008 08:44	881748	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	CARY JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		1/04/2008		SUPER USER

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05/10/2008 03:17	880208	HARM, RICHARD F (OTHER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4018 / Noise Complaint		05/10/2008		SUPER USER
05/03/2008 18:23	880182	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SAVERS, DAVE (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0506 / False Alarm- Noisest (Day)		05/03/2008		SUPER USER
06/03/2008 01:00	880367	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) SMITH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		06/03/2008		SUPER USER
04/11/2008 18:10	880308	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	DIEDTRICH JR, WILLIAM J (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0506 / False Alarm- Noisest (Day)		04/11/2008		SUPER USER
02/21/2008 08:48	880166	GARCIA, ROSA D (OTHER)	NICKELVER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Lock Out M- Bulb, Etc.		02/21/2008		SUPER USER
01/05/2008 10:36	880061	MONITORING (CENTRAL) (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	6605 / False Alarm- Noisest (Day)		01/05/2008		SUPER USER
01/09/2008 19:01	880020	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	DIEDTRICH JR, WILLIAM J (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		01/09/2008		SUPER USER

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11/28/2007 09:12	071286	BECHTEL, PAUL (COMPLAINANT)		77 BROOKSIDE PL, HILLSDALE, NJ	7811 / Power Outage/Release/Rotor p		11/28/2007		SUPER USER
11/15/2007 15:57	071247	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7508 / Fire Alarm In/Out of service		11/15/2007		SUPER USER
11/16/2007 15:30	071247	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7508 / Fire Alarm In/Out of service		11/15/2007		SUPER USER
11/10/2007 10:27	071282	MANCINI, MICHAEL (OWNER)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Lock Out M- Bulb, Etc.		11/10/2007		SUPER USER
10/10/2007 01:15	071081	SECURITY (OTHER)	DONALDSON, CHRIS (SECONDARY) (OFFICER) SMITH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		10/10/2007		SUPER USER
08/16/2007 17:37	070919	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0505 / False Alarm- Noisest (Day)		08/16/2007		SUPER USER
07/28/2007 02:38	070507		DIEDTRICH JR, WILLIAM (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		07/28/2007		SUPER USER
06/21/2007 18:18	070556		MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0507 / False Alarm- Residence (Day)		06/21/2007		SUPER USER
02/19/2007 02:46	070184		CARY JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		02/19/2007		SUPER USER

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10/21/2009 11:24	061788	DAVE, CLAUDE (OTHER)	SAVERS, DAVE (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7018 / Medication		10/21/2009		SUPER USER
11/15/2008 19:02	061124	SECURITY COMPLAINTANT, WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SAVERS, DAVE (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarm- Noisest (Night)		10/16/2008		SUPER USER
10/14/2008 09:04	061128	HILLSDALE FIRE DEPARTMENT (OTHER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4010 / Fire Call- Request for F.D.		10/14/2008		SUPER USER
10/08/2008 15:48	051057	HILLSDALE FIRE DEPARTMENT (OTHER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7508 / Fire Alarm In/Out of service	PENDING	05/19/2015		SUPER USER

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10/29/2008 15:39	0810868	HILLSDALE FIRE DEPARTMENT (OTHER SERVICE COMPLAINT)	WILLIAM J. VILLAMIT (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4010 / Fire Code Violated by F.D.		10/29/2008		SUPER USER
09/18/2008 10:17	0810910	D & M LEASING OTHER FORSA, HILL (DRIVER FORSA, NICHOLAS V. (DRIVER, RABON M. (DRIVER)	NOVAKOWSKI, FRANK (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	6208 / Accident involving Non-Injury		09/18/2008		SUPER USER
05/11/2008 18:14	0805838	SERVICE PROTECTIVE ALARMS COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0564 / False Alarms, Noisaid, (Nght)		05/11/2008		SUPER USER
05/09/2008 04:51	0804805	CO. ADT ALARMS COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0564 / False Alarms, Noisaid, (Nght)		05/09/2008		SUPER USER
04/24/2008 08:14	0804317	PARAMUS POLICE DEPT (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4011 / 911 Abandoned Call Incident		04/24/2008		SUPER USER
04/18/2008 12:06	0804091	PARAMUS POLICE DEPT (COMPLAINANT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4011 / 911 Abandoned Call Incident		04/18/2008		SUPER USER

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03/29/2008 19:25	0636338	WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)		77 BROOKSIDE PLACE, HILLSDALE, NJ	4020 / Wires and Poles Down		03/29/2008		SUPER USER
03/09/2008 21:55	0601498	HAMPTON ADAM R (PRIMARY) (OFFICER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	4014 / Open Door/Windows, Insects, et		03/09/2008		SUPER USER
11/03/2008 11:17	0510319	ANCHOR GATING CORP, OTHER CONTROL ROOM CT BERNIERI COURT) COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (DEFENDANT)		77 BROOKSIDE PLACE, HILLSDALE, NJ	8112 / Owner Autho-c Traffic/Comp		11/03/2008		SUPER USER
10/20/2008 08:38	0510280	ALS 911 CAREGIVER HILLSDALE AMBULANCE CORP (CAREGIVER) FRANCIS POLICE DEPT (COMPLAINANT) DALAZAR, CARLOS (VICTIM)	DONALDSON, CHRIS (PRIMARY) (OFFICER) MAZZEO, JOSEPH (SECONDARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Medical Assistance		10/20/2008		SUPER USER
10/13/2008 12:18	0410078	WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Fire Alarm In/Out of Service		10/13/2008		SUPER USER
09/06/2008 08:56	0509705	COMPLIANCE HILLSDALE CODE COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7011 / Knox Box Fire Release/Restr		09/06/2008		SUPER USER
08/24/2008 15:04	0506271	WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	8018 / RV, Compt,Speed, Parking ETC		08/24/2008		SUPER USER

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06/28/2008 17:43	0603008	SERVICE PROTECTIVE ALARMS COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SCORDATO, JOHN (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0502 / False Alarms, Noisaid, (Nght)		06/29/2008		SUPER USER
06/17/2008 04:21	0500973	NOVAKOWSKI, FRANK (OFFICER) SCORDATO, JOHN (SECONDARY)		77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		06/17/2008		SUPER USER
11/29/2004 04:52	0412851	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	MCLAGHLIN, DANIEL (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		11/29/2004		SUPER USER
11/09/2004 11:38	0412248	BECHTEL, PAUL (COMPLAINANT)		77 BROOKSIDE PL, HILLSDALE, NJ	7011 / Knox Box Fire Release/Restr		11/09/2004		SUPER USER
10/05/2004 22:07	0410901	HAMPTON ADAM R (PRIMARY) (OFFICER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	4014 / Open Door/Windows, Insects, et		10/05/2004		SUPER USER
09/28/2004 18:02	0410430	PROTECTION AGENCY, NJ ENVIRONMENTAL COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	4011 / 911 False Information		09/23/2004		SUPER USER
08/11/2004 03:35	0406473	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	NOVAKOWSKI, FRANK (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		08/11/2004		SUPER USER
07/28/2004 05:10	0406078	ALS 911 CAREGIVER TOWNSHIP AMBULANCE CORP (CAREGIVER) WESTWOOD POLICE DEPARTMENT (OTHER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Medical Assistance		07/28/2004		SUPER USER

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05/04/2004 18:12	0404795	SHREFFA, JOSEPH (COMPLAINANT) TYCO ANIMAL CONTROL SERVICE (OTHER) WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	6510 / Other Animal Complaints		05/04/2004		SUPER USER
04/09/2004 17:25	0403789	SERVICE PROTECTIVE ALARMS COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	HAMPTON, ADAM R (PRIMARY) (OFFICER) NOVAKOWSKI, FRANK (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		04/09/2004		SUPER USER
03/03/2004 09:17	0403282	ALS 911 CAREGIVER TOWNSHIP AMBULANCE CORP (CAREGIVER) WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)	MCKEEVER, BRIAN (SECONDARY) (OFFICER) NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Medical Assistance		03/03/2004		SUPER USER
02/29/2004 21:41	0402241	HILLSDALE DPW (OTHER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	4000 / Dept. of Public Works		06/18/2018		SUPER USER
02/13/2004 17:35	0401605	7008 / Fire Alarm In/Out of Service		77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Fire Alarm In/Out of Service	PENDING	09/19/2015		SUPER USER
02/06/2004 17:29	0401384	STATION, CENTRAL (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		02/06/2004		SUPER USER
02/03/2004 03:48	0401343	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)		77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		02/03/2004		SUPER USER
01/02/2004 14:34	0400445	77 BROOKSIDE PLACE, HILLSDALE, NJ		77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Fire Alarm In/Out of Service	PENDING	09/18/2015		SUPER USER
12/29/2003 12:15	0314775	77 BROOKSIDE PLACE, HILLSDALE, NJ		77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Fire Alarm In/Out of Service		12/29/2003		SUPER USER

Monday, April 23, 2018 8:49:45 AM

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual P.S. Type	Case Disposition	Closed Date	View Documents	Posted By
12/09/2003 15:21	0313744	SERVICE PROTECTIVE ALARMS COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		12/09/2003		SUPER USER
10/01/2003 12:46	0312582	77 BROOKSIDE PLACE, HILLSDALE, NJ		77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Fire Alarm In/Out of Service	PENDING	09/19/2015		SUPER USER
10/19/2003 15:23	0311797	SECURITY COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / Fire Code (Nights, Order, Vt etc)	PENDING	06/18/2018		SUPER USER
09/16/2003 10:14	0310448	HILLSDALE AMBULANCE CORP (CAREGIVER) HARRIS, JESSICA, ALFREDE (VICTIM) WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)	DONALDSON, CHRIS (PRIMARY) (OFFICER) SMITH, THOMAS (SECONDARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Medical Assistance		09/16/2003		SUPER USER
07/14/2003 17:52	0308028	PETRUSZ, WILLIAM (OTHER) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	HAMPTON, ADAM R (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7009 / Lock Boxes, Etc		07/14/2003		SUPER USER
06/04/2003 19:45	0306319	SECURITY COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	KAVANAGH, SEAN (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)	PENDING	06/18/2018		SUPER USER
06/04/2003 13:09	0306305	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / Fire Code (Nights, Order, Vt etc)	PENDING	06/18/2018		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual P.S. Type	Case Disposition	Closed Date	View Documents	Posted By
05/29/2003 12:43	0306031	CO. WATSON (LEASING OTHER) PUBLIC MICHAEL (OWNER) SCHOOL TRANSPORTATION SERV (LLC) (OTHER) CORDENA, JOSEPH G (COMPLAINANT) VASQUEZ, JORGE (OTHER) WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	6008 / Accident involving Non-Injury		05/29/2003		SUPER USER
02/19/2003 22:32	0306010	MURRAY, MIKE (OTHER)	HAMPTON, ADAM R (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4014 / Open Door/Windows, Insects, et		02/19/2003		SUPER USER
03/20/2003 11:19	0303965	ALS 911 CAREGIVER HILLSDALE AMBULANCE CORP (CAREGIVER) WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT) WEAVER, WILLIAM (VICTIM) WESTWOOD POLICE DEPARTMENT (OTHER)	FRANCISVILIA, ROBERT (SECONDARY) (OFFICER) MCLAGHLIN, DANIEL (PRIMARY) (OFFICER) FRANCIS POLICE DEPARTMENT (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7008 / Medical Assistance		03/20/2003		SUPER USER
02/18/2003 19:30	0301997	SERVICE PROTECTIVE ALARMS COMPLAINT)	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		02/18/2003		SUPER USER
02/14/2003 03:24	0301834	ACT ONE CLEANING SERVICE (OTHER) SERVICE PROTECTIVE ALARMS COMPLAINT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	CARTY, JOHN F (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0504 / False Alarms, Noisaid, (Nght)		02/14/2003		SUPER USER

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Borough of Hillsdale Investigation Study

77 Brookside Pl. Block 1210 Lot 11

PD Case Search List

Blk 1210/Lot 11

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
04/16/1909 01:13	980343	AKONYMOUS (OWNER)	SCORDATO, JOHN (PRIMARY) (OFFICER)	538 PIERMONT AVE. HILLSDALE, NJ	4215 / Noise Complaints		04/14/1909		SUPER, USER
04/10/1909 18:00	980418	CARDINALE, THERESA M (COMPLAINANT)	MCLAUGHLIN, DANIEL (OFFICER)	538 PIERMONT AVE. HILLSDALE, NJ	2651 / Burglary (Main Entry V. Day)	PENDING	06/18/2016		SUPER, USER
04/09/1909 01:18	9803270	DAVENPORT, ROBERT J (COMPLAINANT)	HARDER, PAUL (PRIMARY) (OFFICER)	538 PIERMONT AVE. HILLSDALE, NJ	4215 / Noise Complaints		04/05/1909		SUPER, USER
03/28/1909 21:52	9803011	HUGHES, CHRIS (OTHER)	MCLAUGHLIN, DANIEL (OFFICER)	538 PIERMONT AVE. HILLSDALE, NJ	4207 / Suspicious Auto		03/28/1909		SUPER, USER
11/29/2003 17:15	0312003	MURRAY, MIKE (OTHER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	538 PIERMONT AVE. HILLSDALE, NJ	4212 / Gas Leak and Explosions		11/29/2003		SUPER, USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
10/27/1909 12:22	9911569	ADAM, SILVIA (DRIVER)	HARDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	8008 / Accident Involving Non-Injury		10/27/1909		SUPER, USER
08/28/1909 21:03	9909707	SPARKMAN, PATRICK (COMPLAINANT)	HARDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	4213 / COOR Compliance/Inspection		08/29/1909		SUPER, USER
08/18/1909 05:34	9909372	WASTE MANAGEMENT INC (OTHER)	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		08/18/1909		SUPER, USER
09/10/1909 04:29	9909020	SERVICE PROTECTIVE ALARM (COMPLAINANT)	CARTY, JOHN F. (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	2651 / False Alarm- Nonresid (Night)		08/18/1909		SUPER, USER
09/10/1909 04:29	9909054	HILLSDALE FIRE DEPARTMENT (OTHER)	NOVAKOWSKI, FRANK (SECONDARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4210 / Fire Call Request for F.D.		08/18/1909		SUPER, USER
07/23/1909 10:16	9908274	WASTE MANAGEMENT INC (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	2656 / False Alarm- Nonresid (Day)		07/23/1909		SUPER, USER
07/15/1909 04:53	9907927	MENTORING, CENTRAL (COMPLAINANT)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2658 / False Alarm- Nonresid (Day)		07/15/1909		SUPER, USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
06/22/1909 18:10	9906989	MCCOYMAN, DANIEL J (OTHER)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2652 / False Alarm- Nonresid (Day)		06/22/1909		SUPER, USER
06/08/1909 02:38	9906384	HUGHES, CHRIS (OTHER)	SMITH, THOMAS (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4214 / Open Door/Window, Invas of		05/05/1909		SUPER, USER
06/02/1909 14:53	9905348	ANCHOR CARTING CORP (OWNER)	PARENTE, FABIO (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	3635 / False Alarm- Nonresid (Day)		05/07/1909		SUPER, USER
06/03/1909 12:19	9905165	SALL, CHEF KIM (COMPLAINANT)		77 BROOKSIDE PLACE, HILLSDALE, NJ	9101 / False Information		06/03/1909		SUPER, USER
05/18/1909 12:19	9905466			77 BROOKSIDE PL. HILLSDALE, NJ	2654 / Fire Code (Main Entry V. Day)		05/18/1909		SUPER, USER
05/14/1909 03:29	9905461	ANCHOR CARTING CORP (OWNER)	HARDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4310 / Fire Call Request for F.D.		05/10/1909		SUPER, USER
05/07/1909 04:20	9905200	MAINTENANCE, BROOKSIDE (OWNER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		05/07/1909		SUPER, USER
04/13/1909 18:32	9904968	VANDERZEE, FRANK (OTHER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		04/13/1909		SUPER, USER
03/29/1909 16:40	9904232	ESCORCIE, JOSE B (DEFENDANT)	CARTY, JOHN F. (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		03/29/1909		SUPER, USER

PD Case Search List

Blk 1210/Lot 11

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
12/17/1909 05:47	9914202	WASTE MANAGEMENT INC (OWNER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4214 / Open Door/Window, Invas of		12/17/1909		SUPER, USER
12/14/1909 06:16	9914150	SERVICE PROTECTIVE ALARM (COMPLAINANT)	MCLAUGHLIN, DANIEL (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		12/14/1909		SUPER, USER
11/09/1909 12:33	9912831	BAKER, KIRK (X OTHER)		77 BROOKSIDE PLACE, HILLSDALE, NJ	8008 / Accident Involving Non-Injury		11/09/1909		SUPER, USER
10/29/1909 00:50	9912130	MENTORING POLICE DEPARTMENT (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	7010 / Assistance		10/23/1909		SUPER, USER
10/15/1909 03:31	9911781	STATION, CENTRAL (COMPLAINANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		10/15/1909		SUPER, USER
10/09/1909 04:22	9911532	ANCHOR CARTING CORP (OWNER)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		10/09/1909		SUPER, USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
07/13/1909 21:09	9907873	SYSTEMS, SAL-CAR TRANSFER (OTHER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4214 / Open Door/Window, Invas of		07/13/1909		SUPER, USER
07/12/1909 18:58	9907393	SERVICE PROTECTIVE ALARM (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		07/12/1909		SUPER, USER
07/12/1909 20:50	9907615	MARSHFIELD CO. NEW RESIDENTIAL (DEFENDANT)	CARTY, JOHN F. (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	7010 / Nonfatuous		07/12/1909		SUPER, USER
07/08/1909 04:50	9907059	WASTE MANAGEMENT INC (OTHER)	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		07/08/1909		SUPER, USER
07/01/1909 10:29	9907303	ANCHOR CARTING CORP (OWNER)	SMITH, SEAN (SECONDARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		07/01/1909		SUPER, USER
06/30/1909 22:57	9907340	STATION, CENTRAL (OTHER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		06/30/1909		SUPER, USER
06/29/1909 17:52	9907207	STATION, CENTRAL (COMPLAINANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2652 / False Alarm- Nonresid (Day)		06/29/1909		SUPER, USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
05/24/1909 01:52	9906208	ANCHOR CARTING CORP (DEFENDANT)	MCKEEVER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		05/24/1909		SUPER, USER
12/31/1909 20:00	981212	ANCHOR CARTING CORP (DEFENDANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4215 / Noise Complaints		12/31/1909		SUPER, USER
12/30/1909 09:20	9811900	ANCHOR CARTING CORP (OTHER)	HARDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	8008 / False Alarm- Nonresid (Day)		12/08/1909		SUPER, USER
11/27/1909 17:56	9811517	SERVICE PROTECTIVE ALARM (COMPLAINANT)	SMITH, THOMAS (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		11/27/1909		SUPER, USER
10/31/1909 20:30	9810300	ANCHOR CARTING CORP (OTHER)	CARTY, JOHN F. (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	2654 / False Alarm- Nonresid (Night)		10/31/1909		SUPER, USER
10/26/1909 07:30	9810401	HILLSDALE FIRE DEPARTMENT (COMPLAINANT)	MAZZEO, JOSEPH (SECONDARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4210 / Fire Call Request for F.D.		10/26/1909		SUPER, USER
10/23/1909 09:38	9809255	DAVENPORT ROBERT J (COMPLAINANT)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4215 / Noise Complaints		10/23/1909		SUPER, USER
09/25/1909 15:27	9809033	LUNDEBERG, PAUL A (OTHER)	FRANCISGLIA, ROBERT (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	8008 / Accident Involving Non-Injury		09/25/1909		SUPER, USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Active Case Type	Case Disposition	Closed Date	View Documents	Posted By
08/03/2018 23:00	3005460	DAVENPORT, ROBERT J (COMPLAINANT) WASTE MANAGEMENT INC OF HILLSDALE (DEFENDANT)	MOCKEYER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4033 / Door Complaint/Issue Report		08/02/2018		SUPER USER
01/01/2019 03:51	3004849		MAZZEO, JOSEPH (SECONDARY) (OFFICER), SCORCIATO, JOHN (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	4214 / Open Door/Windows/Insect of		06/09/2018		SUPER USER
03/25/2018 15:35	3005102	FRAMBACH, WILLIAM A. (VICTIM)	HANDER, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	9208 / Lost Article	CLEARED BY ARREST/ADULT	03/20/2018		SUPER USER
02/08/2018 08:48	3001461	HUGHES, CHRIS (OTHER) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	STUCKEY, PAUL (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0605 / False Alarm/ Nonresid (Day)		02/06/2018		SUPER USER
01/25/2018 03:17	3006875	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0604 / False Alarm/ Nonresid (NIGHT)		01/24/2018		SUPER USER
01/24/2018 23:44	3006876	GRAFF, WAYNE (OTHER) MAINTENANCE JR (OTHER) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	CARTY, JOHN F (SECONDARY) (OFFICER), MAZZEO, JOSEPH (PRIMARY) (OFFICER)	77 BROOKSIDE PLACE, HILLSDALE, NJ	0604 / False Alarm/ Nonresid (NIGHT)		01/24/2018		SUPER USER
01/02/2018 01:14	3006777	COOPER, TAMI (DEFENDANT) MUCKA, PETER (OTHER) WASTE MANAGEMENT INC (OTHER)	MOCKEYER, BRIAN (PRIMARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	1420 / Suspense Bldg. Cr/78Bldg Misc		01/02/2018		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Active Case Type	Case Disposition	Closed Date	View Documents	Posted By
01/02/2018 00:47	3007076	SEWEL, PROTECTIVE ALARMS (OTHER)	CARTY, JOHN F (PRIMARY) (OFFICER), MOCKEYER, BRIAN (SECONDARY) (OFFICER)	77 BROOKSIDE PL. HILLSDALE, NJ	0504 / False Alarm/ Nonresid (Night)		01/22/2018		SUPER USER



Borough of Hillsdale
Investigation Study

145 Patterson St.
Block 1211 Lot 1

Owner: USA Waste C/O
Waste Mgmt.
P.O. Box 1450
Chicago, IL 60690



Property Use:

Surface Lot

Zone District:

Industrial (I)

Property Acreage:

1.75

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1211 Lot 1:

1. Assessment:	\$ 1,136,900
2. Land Value:	\$ 1,050,000
3. Improvement Value:	\$ 86,900

Property Description:

This property (145 Patterson Street) is located at the corners of Brookside Place, Patterson Street and Knickerbocker Avenue, and is predominantly comprised of asphalt, gravel and concrete areas. The property is fenced off into two distinct areas, with the first area located along the entire length of Patterson Street from Brookside Place to Knickerbocker Avenue and the second located to the rear with frontage along Brookside Place and Knickerbocker Avenue.

The first area is comprised of gravel along the Patterson Street frontage with one access point off Brookside Place. There is a large, approximately 15 foot wall located at the eastern property line along Patterson Street that turns down and continues along the majority of Knickerbocker Avenue. The first area appears to be used for the storage of roll up trash compactors, bins, large metal containers, and other trailers. The grades for this area drain water toward both Brookside Place and Knickerbocker Avenue at the property edges. This condition has led to a significant amount of sediment, gravel and debris in the

street. Along Knickerbocker Avenue the large permanent wall is located several feet above the back of curb. In these locations, the gravel embankment has degraded and stone, rock and other sediment is washing into the street. In addition the loss of gravel at the base of the wall along Knickerbocker Avenue has exposed the bottom of the concrete base between the wall footings, which may represent an undermining of the walls structural integrity.

In certain sections along Knickerbocker Avenue and for most of the frontage along Brookside Place, there is asphalt located between the wall and the back of curb, which would allow vehicles to either park or maneuver within the public right of way, which is not permitted. In addition, the property includes no sidewalks, lighting, or other pedestrian safety improvements along Patterson Street, Brookside Place or Knickerbocker Avenue.

The stop sign and line at Knickerbocker Avenue on the south side is located approximately 5 feet in front of the wall, which would impede visibility for someone trying to turn onto Patterson Street. This condition would require vehicles to pull into the Patterson Street public right of way in order to see oncoming traffic.

The second lot is predominantly comprised of asphalt and includes a small security both off Brookside Place with a non secured entrance off Knickerbocker Avenue. This portion of the property includes storage for roll up trash compactors, trash bins and large metal containers as well as tractor trailer beds. The entrance to this section along Brookside Place includes damage to bollards indicating vehicles not being able to make the proper turning radius into or out of the property.

The property does not include any on-site lighting, sidewalks, other pedestrian safety measures or storm water management control measures.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property, this includes one noise/odor complaint. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate

shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community as vehicles are maneuvering within the site when it is dark.

- 2) The location of the approximately 15 foot pre-fabricated wall along the length of Patterson Street represents a faulty arrangement and design evidenced by the stop sign being located behind the wall on Knickerbocker Avenue at the Patterson Street intersection, which does not allow adequate site lines for vehicles without pulling into the Patterson Street right of way. This condition also limits the ability for any sidewalk to be located long that portion of the property, which represents a dangerous condition for pedestrians.
- 3) The location of asphalt parking areas along both Patterson Street and Brookside Place represent a faulty arrangement and design which does not meet the requirements of the Hillsdale Zoning Ordinance (Section 310-58). This deficiency create dangerous conditions which are detrimental to the safety, health and welfare of the community. The existing dimension between the wall and both Patterson Street and Knickerbocker Avenue is less than what is required. "Parking areas shall not be closer than 10 feet from any street line" (Section 310-58). As noted the asphalt parking goes directly to the back of curb along both streets, which does not meet this requirement.
- 4) The location of the pre-fabricated wall along Knickerbocker Avenue is significantly higher (multiple feet) than the existing grade of the curb and street. Given there are no sidewalks in this area and the grades have caused gravel and sediment to go into the public street in these locations, this represents a faulty arrangement and design that is detrimental to the health, safety and welfare of the community. In addition the concrete base of the wall appears to be exposed due to the degradation of the underlying gravel base. This appears to have exposed the bottom of the wall over time and represents a faulty design that is detrimental to the health safety an welfare of the community.
- 5) The property includes large areas of stored construction including rusting materials that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site. Per Section 310-107, "Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

Although this property does not require these provisions given there is no site plan application, the lack of stormwater management represents a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

- 6) As noted, the area lacks proper safety measures including sidewalks, pronounced curbs and buffers between the site and the public right of ways while providing areas for parking all of which represent a faulty arrangement and obsolete layout that is detrimental to the health, safety and welfare of the

community by allowing vehicles to park along Patterson Street and Knickerbocker Avenue with limited safety control measures. This condition represents a faulty arrangement and design that creates safety concerns for pedestrians along those street frontages. These items represent a faulty arrangement and obsolete layouts which create a detrimental impact on the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1211 Lot 1 be designated as an area in need of redevelopment.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.

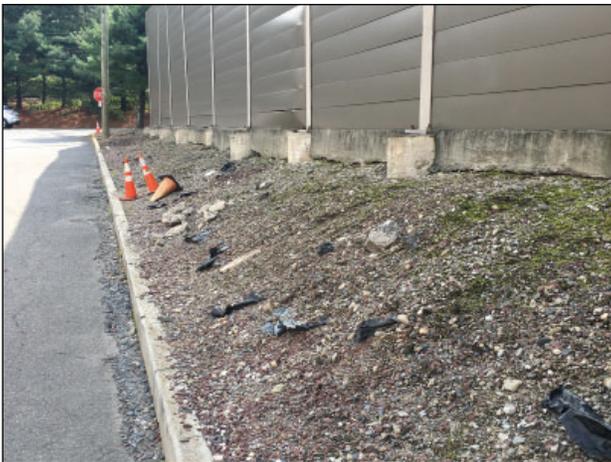


Image 1: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.

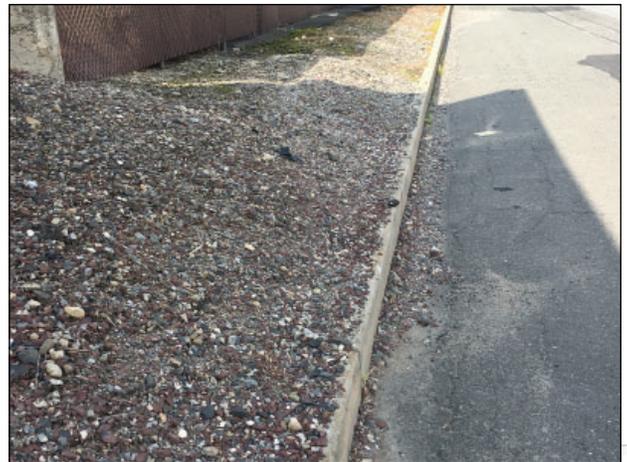


Image 2: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.

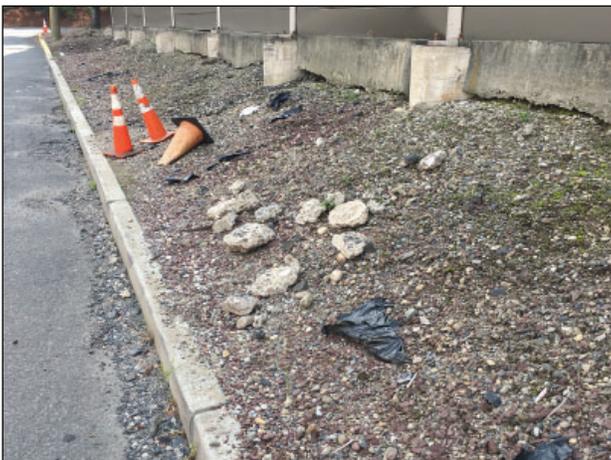


Image 3: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.

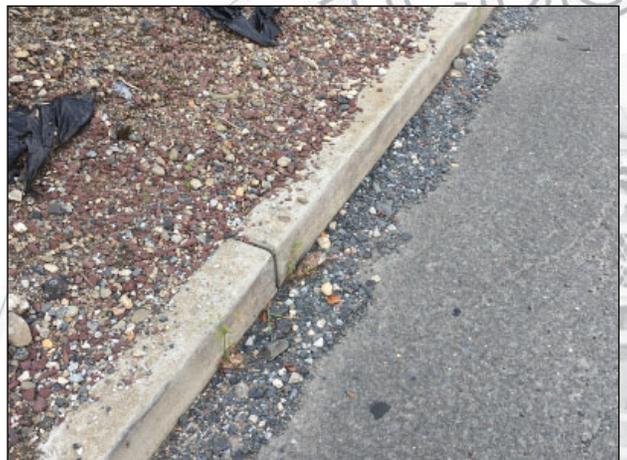


Image 4: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



Image 5: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



Image 6: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



Image 7: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



Image 8: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



Image 9: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



Image 10: View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



Image 11: View of wall on Patterson Street with no sidewalks, street lights and includes asphalt parking areas.



Image 12: View of wall on Patterson Street with no sidewalks, street lights and includes asphalt parking areas.



Image 13: View along Brookside Place.



Image 14: View of wall at the corner of Brookside Place and Patterson Street depicting the wall with limited visibility and no room for a sidewalk



Image 15: View along Brookside Place depicting sediment and gravel onto the public right of way.



Image 16: View down Brookside Place.



Image 17: View of entrance into the asphalt parking area with damage to utility pole protection.



Image 18: View along Brookside Place depicting no curb, sidewalk, street lighting or pedestrian safety controls.



Image 19: View along Brookside Place.



Image 20: View of entrance into the asphalt parking area with damage to utility pole protection.



Image 21: View into storage area.



Image 22: View into storage area



Image 23: View along Brookside Place depicting drop curb with lack of sidewalks, street lighting and other pedestrian safety measures.



Image 24: View along Brookside Place.



Image 25: View of entrance from Knickerbocker Avenue.



Image 26: View of drainage area with severe grading along entrance drive.

PD Case Search List

Agency: HILLSDALE POLICE DEPARTMENT Location / Address: 145 patterson st Incident Location Only: YES City: Hillsdale

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual EFS Type	Case Disposition	Closed Date	View Documents	Posted By
05/28/19 02:35	9100370		FRANCIVOLIA, ROBERT (SECONDARY) (OFFICER) ROBERT SEMIN (PRIMARY) (OFFICER)	145 PATTERSON ST, HILLSDALE, NJ	NCV / Abuse Complaints	PENDING	05/19/2018		SLPER, USER
07/09/19 13:27	9101895		KEHR, FLOYD (PRIMARY) (OFFICER)	145 PATTERSON ST, HILLSDALE, NJ	606B / Accident (including Non-Injury)	PENDING	06/18/2018		SLPER, USER
05/28/19 13:45	9100793			145 PATTERSON ST, HILLSDALE, NJ	7502 / Fire Department, ASSIST TO		05/28/1919		SLPER, USER

Blk 1211/Lot 1

Owner: USA Waste C/O
Waste Mgmt.
P.O. Box 1450
Chicago, IL 60690



Property Use:

Warehouse

Zone District:

Industrial (I)

Property Acreage:

1.50

Permitted Use:

Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1211 Lot 2:

- | | |
|-----------------------|-------------|
| 1. Assessment: | \$1,800,100 |
| 2. Land Value: | \$ 900,000 |
| 3. Improvement Value: | \$ 900,100 |

Property Description:

This property (60 Brookside Place) has frontage on Brookside Place, Prospect Street and Knickerbocker Avenue. The interior of the building is a large open structure with a small second level office located on within a small portion of the building. There are two curb cuts along Brookside Place with entrances into the warehouse and one on Knickerbocker Avenue. The majority of the length of the property along Prospect Place has a dropped curb that allows head-in parking. The building is approximately 180 feet by 150 feet and covers a significant portion of the lot.

The property is predominantly comprised of impervious area and includes a portion of the asphalt area that stores trash and recycling bins. Parking for the building is located on Prospect Place, which has head in parking that would require vehicles to back into the public right of way. This location does not have a drop curb in front of the parking and has rusting construction materials located in the majority of the parking area. A portion of the property is located within the 300 foot C1 buffer.

The grades along all streets go toward the public right of way and the property does not have any sidewalks, street lights, or pedestrian safety measures. In addition, roof drains along Prospect Place spill directly on the asphalt across the parking area and into the public right of way.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include three (3) traffic violation/ motor vehicle accident, thirteen (13) noise/odor complaints, nine (9) municipal ordinance violations including one for a "dangerous condition" and four (4) fire dept call/request. The attached records provide all of the violations associated with the property.

Redevelopment Designation:

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

Conclusion:

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The property includes large areas of stored construction and rusting materials that are located on the asphalt / gravel lot as well as within the parking area along Prospect Place. The lot grades toward the street and there are no storm water measures located on the site.

Per Section 310-107, "Industrial stormwater exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial stormwater discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to stormwater".

Although this property does not require these provisions given there is no site plan application, the lack of stormwater management represents a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of

such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community as vehicles are maneuvering within the site when it is dark.

- 3) Roof leaders drain water across the asphalt parking areas into the public right of way and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot into the public storm water system, which represents a detrimental impact to the health, safety and welfare of the community;
- 4) As noted in the property description, head in parking is located along the Prospect Place street frontage that would require vehicles to back into the public right of way. The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58) The asphalt parking along Prospect Street is closer than the required 10 feet, which requires vehicles to back into the public right of way. This condition represents a faulty arrangement and design by requiring vehicles to back into the public right of way. The lack of access management to the spaces coupled with the land off lighting and sidewalks represents a faulty arrangement and design that is detrimental for both vehicles and pedestrians.
- 5) As noted, the area lacks proper safety measures including sidewalks, pronounced curbs and buffers between the site and the public right of ways. The site does not have any pedestrian safety measures or access management that would direct traffic to certain points along Prospect Place, all of which represent a faulty arrangement and obsolete layout that is detrimental to the health, safety and welfare of the community by allowing vehicles to drive onto the site without any control measures. This creates safety concerns for pedestrians along that frontage.
- 6) The other conditions include a significant amount of the site is comprised of impervious surfaces. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system.

These items represent a faulty arrangement and obsolete layouts which create a detrimental impact on the safety, health and welfare of the community. Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1211 Lot 2 be designated as an area in need of redevelopment.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: View of parking area on Prospect Street with rusting construction materials.



Image 2: View of parking area on Prospect Street with rusting construction materials. Grades toward the street with sediment and debris in the public right of way.



Image 3: View of parking area on Prospect Street with rusting construction materials.



Image 4: View of entrance from Knickerbocker Avenue.



Image 5: View of entrance from Knickerbocker Avenue.



Image 6: View of entrance from Knickerbocker Avenue.



Image 7: View of parking area on Prospect Street with rusting construction materials.



Image 8: View of Knickerbocker entrance with no sidewalk or safety lighting.



Image 9: View of building along Brookside Place depicting grades away from the building with no sidewalks or pedestrian control measures.



Image 10: View of Knickerbocker entrance with no sidewalk or safety lighting.



Image 11: View of building, roof drains and construction materials along Prospect Place with sediment and gravel in public right of way and parking area.



Image 12: View roof drains along Prospect Place.



Image 13: View of asphalt parking area to the east of the building.



Image 14: View of parking area off Prospect Place.

PD Case Search List

blk 1211/LOT 2

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
06/17/1989 15:53	9603314	ALS 20% CAREGIVER/ HILSDALE FIRE DEPARTMENT (OFFICER)	FARRELL THOMAS (SECONDARY) / MCLAUGHLIN DANIEL (PRIMARY)	60 BROOKSIDE PL. HILSDALE, NJ	7000 / Medical Assistance	CLOSED	08/17/1989		SUPER USER
06/25/1989 12:33	9605781			60 BROOKSIDE PL. HILSDALE, NJ	2034 / Fire Code (Munic.Ordin.Vi)		06/25/1989		SUPER USER
03/05/1988 13:26	9602481			60 BROOKSIDE PL. HILSDALE, NJ	2034 / Fire Code (Munic.Ordin.Vi)		03/05/1988		SUPER USER
01/18/1989 03:03	9600837			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		01/18/1989		SUPER USER
01/17/1989 23:28	9600821			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		01/17/1989		SUPER USER
12/31/1988 20:02	9612706			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		12/31/1988		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
12/27/1988 15:26	9612800			60 BROOKSIDE PL. HILSDALE, NJ	2006 / False Alarm- Nonresid (Day)		12/27/1988		SUPER USER
11/24/1988 05:54	9611405			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Day)		11/24/1988		SUPER USER
11/10/1988 08:47	9611154			60 BROOKSIDE PL. HILSDALE, NJ	2005 / False Alarm- Nonresid (Day)		11/10/1988		SUPER USER
11/14/1988 11:41	9611147			60 BROOKSIDE PL. HILSDALE, NJ	2005 / False Alarm- Nonresid (Day)		11/14/1988		SUPER USER
06/28/1989 08:37	9600982			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		06/28/1989		SUPER USER
03/27/1989 23:57	9606804			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		03/27/1989		SUPER USER
03/23/1989 18:43	9606130			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Day)		03/23/1989		SUPER USER
08/22/1989 20:08	9606105			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		08/22/1989		SUPER USER
07/27/1989 20:08	9607197			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		07/27/1989		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
02/04/1989 22:41	9603803			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		02/04/1989		SUPER USER
08/17/1988 01:13	9603828			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		08/17/1988		SUPER USER
04/07/1988 00:50	9603301			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		04/07/1988		SUPER USER
12/16/1987 20:30	9713125			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		12/16/1987		SUPER USER
07/28/1987 00:41	9707781			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		07/28/1987		SUPER USER
07/19/1987 01:51	9701408			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		07/19/1987		SUPER USER
07/14/1987 06:21	9707205			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		07/14/1987		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
07/14/1987 02:10	9707204			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		07/14/1987		SUPER USER
03/01/1987 01:08	9706895			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		03/01/1987		SUPER USER
09/19/1986 03:55	9605030			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		09/19/1986		SUPER USER
06/25/1986 20:54	9604698			60 BROOKSIDE PL. HILSDALE, NJ	7010 / Notifications	PENDING	06/25/1986		SUPER USER
07/23/1986 00:16	9607441			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		07/23/1986		SUPER USER
07/13/1986 01:18	9607105			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Night)		07/13/1986		SUPER USER
06/28/1986 18:11	9606537			60 BROOKSIDE PL. HILSDALE, NJ	2004 / False Alarm- Nonresid (Day)		06/28/1986		SUPER USER
06/26/1986 08:01	9606528			60 BROOKSIDE PL. HILSDALE, NJ	2002 / False Alarm- Residenc (Day)	PENDING	06/18/2018		SUPER USER
06/25/1986 13:11	9606482			60 BROOKSIDE PL. HILSDALE, NJ	2005 / False Alarm- Nonresid (Day)		06/25/1986		SUPER USER

Report Date / Time	PO Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
06/23/1986 03:29	1801614		ECORRATO, JOHN (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7500 / False Alarm- Noise (Npt)		05/23/1985		SUPER USER
06/21/1986 02:14	1801408		MAZZEO, JOSEPH (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7500 / False Alarm- Noise (Npt)		06/21/1985		SUPER USER
06/17/1986 13:29	1801347		BLESSE, ROBERT (SECONDARY) (OFFICER) HARDER, PAUL (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7500 / False Alarm- Noise (Npt)		06/17/1985		SUPER USER
06/17/1986 02:14	1801338		STUCKEY, PAUL (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7504 / False Alarm- Noise (Npt)		06/17/1985		SUPER USER
06/16/1986 00:00	1801303		MCLAUGHLIN, DANIEL (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7504 / False Alarm- Noise (Npt)		06/16/1985		SUPER USER
10/23/2014 02:25	1014-10540		OLPRA, MATT (PRIMARY) (OFFICER)	60 Brookside Place, Hillsdale, NJ 07834	None/CAT DATA	CLOSED	10/03/2014		OLUPPA, MATT
03/17/2013 05:55	1114304		MORTON, MICHAEL (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaint		03/17/2013		SUPER USER
12/27/2012 11:00	1125071			60 BROOKSIDE PL, HILLSDALE, NJ 07842	7500 / Fire Alarm In/Out of service		12/27/2012		SUPER USER
10/26/2012 10:54	1125066			60 BROOKSIDE PL, HILLSDALE, NJ	7500 / Fire Alarm In/Out of service		10/26/2012		SUPER USER
10/24/2012 12:54	1126075		MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER) SMITH, THOMAS (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4010 / Fire Cals Request for P.D.		10/24/2012		SUPER USER

Report Date / Time	PO Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
06/19/2012 13:19	1209131		HOAG, FREDERICK (COMPLAINANT) (OWNER) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	60 BROOKSIDE PL, HILLSDALE, NJ	4013 / COOR Complaint/Noise Ignore		06/19/2012		SUPER USER
06/07/2012 12:49	1209174		LACY, KATHLEEN A (COMPLAINANT) (OWNER) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	60 BROOKSIDE PL, HILLSDALE, NJ 07842	4013 / COOR Complaint/Noise Ignore		06/07/2012		SUPER USER
04/18/2012 21:50	1205507		WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	60 BROOKSIDE PL, HILLSDALE, NJ	4010 / Fire Cals Request for P.D.		04/18/2012		SUPER USER
03/27/2012 03:50	1203960		HILLSDALE FIRE DEPARTMENT (OTHER) SECURITY (COMPLAINANT) (OWNER) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	60 BROOKSIDE PL, HILLSDALE, NJ	4010 / Fire Cals Request for P.D.		03/27/2012		SUPER USER
03/10/2012 02:41	1202376		ROWE, NORMAL (OWNER) MERCHANTS (COMPLAINANT)	60 BROOKSIDE PL, HILLSDALE, NJ	4027 / Suspicious Auto		03/10/2012		SUPER USER
03/06/2012 18:30	1202352		HILLSDALE DRUM (WASTE MANAGEMENT INC OF HILLSDALE) (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	4027 / Dept. of Public Works		03/06/2012		SUPER USER
01/13/2011 15:27	1106930		TYCO BARRIAL CONTROL SERVICE (WASTE MANAGEMENT INC OF HILLSDALE) (COMPLAINANT)	60 BROOKSIDE PL, HILLSDALE, NJ	5010 / Other Animal Complaints	PENDING	06/18/2015		SUPER USER

Report Date / Time	PO Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
01/12/2010 10:13	1011337			60 BROOKSIDE PL, HILLSDALE, NJ	7500 / Incident In/Out of service	PENDING	09/16/2015		SUPER USER
11/20/2010 14:00	1011149		SMITH, THOMAS (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7502 / Bulk Order/ In/Out of service		11/09/2010		SUPER USER
10/19/2010 11:37	1010449			60 BROOKSIDE PL, HILLSDALE, NJ	7500 / Fire Alarm In/Out of service		07/19/2010		SUPER USER
09/16/2010 12:25	1008263		SILBER (COMPLAINANT) (OWNER) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	60 BROOKSIDE PL, HILLSDALE, NJ	7507 / Notification		09/16/2010		SUPER USER
08/29/2010 08:06	1007901		D & M LEASNOK (COMPLAINANT) (OWNER) ZIMBA, MESSIE (DEFENDANT)	60 BROOKSIDE PL, HILLSDALE, NJ	6512 / Vehicle, M.V. Verbal, Written		08/09/2010		SUPER USER
07/19/2010 09:30	1006128		MURPHY, JOHN (SECONDARY) (OFFICER) WASTE MANAGEMENT INC OF HILLSDALE (OTHER)	60 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Widows, In/Out of service		06/16/2010		SUPER USER
09/22/2009 16:52	0906638		NOVAKOWSKI, FRANK (SECONDARY) (OFFICER) SERVICE PROTECTIVE ALARMS (COMPLAINANT) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	0501 / False Alarm- Noise (Npt)		09/22/2009		SUPER USER
04/16/2009 02:13	0903503		FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Widows, In/Out of service		04/16/2009		SUPER USER
01/23/2009 18:16	0901808			60 BROOKSIDE PL, HILLSDALE, NJ	7510 / Notification	PENDING	06/18/2015		SUPER USER

Report Date / Time	PO Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
2/1/2009 20:45	0900144		VANDINE, MARY (OTHER) SMITH, THOMAS (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4027 / Domestic Dispute	PENDING	06/18/2015		SUPER USER
12/29/2008 06:30	0810060		BLESING, TOM (DEFENDANT) (OWNER) BELL, GLEN (OTHER) (DEFENDANT)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints		12/29/2008		SUPER USER
12/01/2008 09:28	0813015			60 BROOKSIDE PL, HILLSDALE, NJ	7506 / Fire Alarm In/Out of service	PENDING	06/18/2015		SUPER USER
10/01/2008 08:30	0810750		MOKEEVER, BRIAN (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5004 / Found Animal	CLOSED	10/01/2008		SUPER USER
09/22/2008 04:23	0810457		WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	7506 / Fire Alarm In/Out of service	PENDING	06/18/2015		SUPER USER
09/08/2008 04:23	0810687		WASTE MANAGEMENT INC OF HILLSDALE (DEFENDANT) NOVAKOWSKI, MICHAEL (COMPLAINANT)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints		09/08/2008		SUPER USER
08/27/2008 04:23	0803684			60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints		06/27/2008		SUPER USER
04/19/2007 18:08	0704669		WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	7501 / Fire Alarm- Noise (Npt)		04/19/2007		SUPER USER
04/18/2007 04:21	0704289		WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT) WESTWOOD BANANA CO INC (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	6512 / M.V. Complaint/Noise Parking ETC		04/18/2007		SUPER USER

Report Date / Time	PO Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
12/13/2002 11:59	0214474		RODRIQUEZ, LIZ J (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Widows, In/Out of service		12/23/2002		SUPER USER
12/09/2002 04:44	0212966		NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	0504 / False Alarm- Noise (Npt)		12/06/2002		SUPER USER
11/22/2002 23:45	0213175		FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Widows, In/Out of service		11/22/2002		SUPER USER
10/28/2002 10:22	0211269			60 BROOKSIDE PL, HILLSDALE, NJ	5015 / Bulk Order/ In/Out of service		10/08/2002		SUPER USER
10/24/2002 13:33	0211204			60 BROOKSIDE PL, HILLSDALE, NJ	5014 / Fire Code Violation, Ord. VI 080	PENDING	06/18/2015		SUPER USER
04/17/2002 17:54	0204203		DAVENPORT, ROBERT J (COMPLAINANT) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints	PENDING	06/18/2015		SUPER USER
02/28/2002 15:55	0202278		WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	5015 / Police Complaint	PENDING	06/18/2015		SUPER USER
01/09/2002 10:28	0201675		WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	5014 / Fire Code Violation, Ord. VI 080	PENDING	06/18/2015		SUPER USER
07/22/2001 19:52	0107348		DAVENPORT, ROBERT J (COMPLAINANT) (OFFICER) FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	2540 / Mut. Ord. Vio. Other Incident		07/22/2001		SUPER USER
06/01/2001 18:00	0106016		DAVENPORT, ROBERT J (COMPLAINANT) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints	PENDING	06/18/2015		SUPER USER

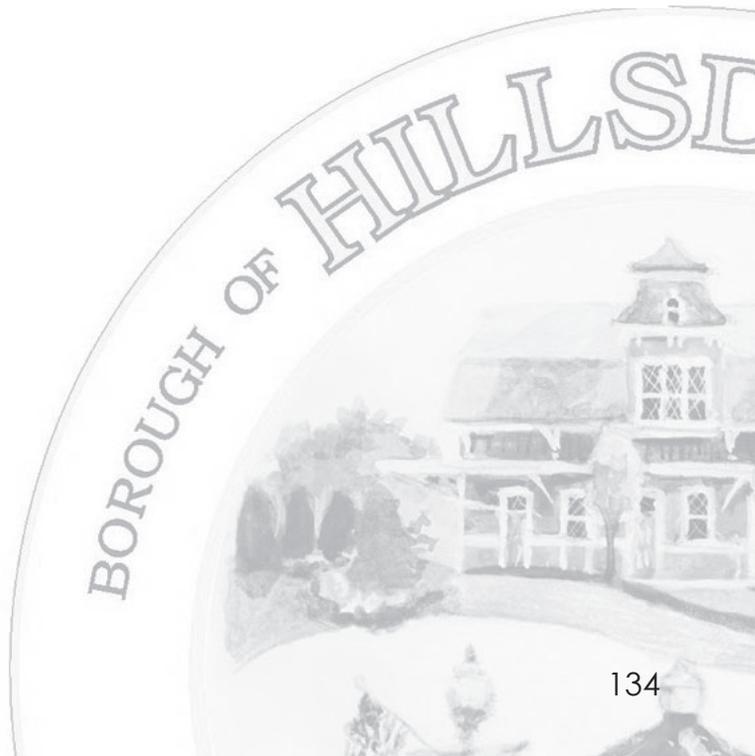
Report Date / Time	PO Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
06/29/2001 19:17	0105885		DAVENPORT, ROBERT J (COMPLAINANT) (OFFICER) WASTE MANAGEMENT INC OF HILLSDALE (DEFENDANT)	60 BROOKSIDE PL, HILLSDALE, NJ	2510 / Bulk Code Violation, Ord. VI 080		06/29/2001		SUPER USER
04/19/2001 08:10	0104304		FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	3800 / JACOBY THE FT	PENDING	06/18/2015		SUPER USER
04/01/2001 10:43	0102869		MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7510 / Notification	PENDING	06/18/2015		SUPER USER
02/28/2001 19:19	0102281		DAVENPORT, ROBERT J (COMPLAINANT) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints		02/28/2001		SUPER USER
11/18/2000 10:23	0101210		PANAMUS POLICE DEPT (COMPLAINANT) (OFFICER) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	4011 / 911 Abandoned Cal Post		11/18/2000		SUPER USER
08/25/2000 13:51	0100148		WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	60 BROOKSIDE PL, HILLSDALE, NJ	2514 / Fire Code Violation, Ord. VI 080		08/25/2000		SUPER USER
06/30/2000 10:52	0007409			60 BROOKSIDE PLACE, HILLSDALE, NJ	2514 / Fire Code Violation, Ord. VI 080		06/30/2000		SUPER USER
05/20/2000 02:21	0007020		MOCZKA, PETER (OTHER)	60 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Widows, In/Out of service	PENDING	06/18/2015		SUPER USER
05/23/2000 15:00	0004774		MCKEEVER, BRIAN (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4019 / Disturbance	PENDING	06/18/2015		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Rule Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
04/19/19 03:27	050427	MAINTENANCE (BROOKSIDE DEFENDANT) (JUVENILE)	CARY, JOHN F (SECONDARY) (OFFICER) FRANCAVOLA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		04/18/1995		SUPER USER
04/09/19 02:55	040302	MAINTENANCE (BROOKSIDE DEFENDANT)	NOVAKOWSKI, FRANK (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		04/08/1995		SUPER USER
03/09/19 01:49	040278	ANCHOR CARTING CORP (DEFENDANT)	HARDER, PAUL (OFFICER) STUCKEY, PAUL (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		03/08/1995		SUPER USER
03/23/19 03:29	040207	MAINTENANCE (BROOKSIDE DEFENDANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		03/22/1995		SUPER USER
01/14/19 23:24	040034	MAINTENANCE (BROOKSIDE DEFENDANT)	FARRELL, THOMAS (PRIMARY) (OFFICER) FRANCAVOLA, ROBERT (SECONDARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		01/14/1995		SUPER USER
12/23/19 01:45	040704	MAINTENANCE (BROOKSIDE DEFENDANT) (JUVENILE)	MAZZEO, JOSEPH (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	60 BROOKSIDE PL, BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		12/22/1995		SUPER USER
11/11/19 02:57	050208	DEMINO, RICHARD (COMPLAINANT) (OFFICER) MELLE, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)			11/11/1995		SUPER USER
09/19/19 03:28	050455	MAINTENANCE (BROOKSIDE DEFENDANT)	DEMINO, RICHARD (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		09/19/1995		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Rule Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
09/18/19 01:30	050418	MAINTENANCE (BROOKSIDE DEFENDANT)	LEIGHTON, PETER (OFFICER) STUCKEY, PAUL (SECONDARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		09/18/1995		SUPER USER
07/29/19 02:29	050402	MAINTENANCE (BROOKSIDE DEFENDANT) (BROOK PROTECTIVE ALARM COMPLAINT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER) NOVAKOWSKI, FRANK (SECONDARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		07/28/1995		SUPER USER
07/23/19 11:20	050215	MAINTENANCE (BROOKSIDE DEFENDANT) (STATION CENTRAL COMPLAINT)	LEIGHTON, PETER (SECONDARY) (OFFICER) MAZZEO, JOSEPH (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Day)		07/23/1995		SUPER USER
07/17/19 05:01	050210	SANITATION (FRANCO DEFENDANT)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints		07/17/1995		SUPER USER
07/17/19 02:01	050214		MAZZEO, JOSEPH (PRIMARY) (OFFICER) SCORDATO, JOHN (SECONDARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		07/17/1995		SUPER USER
07/14/19 18:32	050209	ALL 501 CAREGIVER (BROOKSIDE AMBULANCE CORP CAREGIVER)	FARRELL, THOMAS (SECONDARY) (OFFICER) MELLE, ROBERT (SECONDARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7009 / Medical Assistance		07/14/1995		SUPER USER
05/28/19 02:47	040189		CARY, JOHN F (PRIMARY) (OFFICER) MAZZEO, JOSEPH (SECONDARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		05/28/1995		SUPER USER
05/24/19 02:05	040144		DEMINO, RICHARD (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5504 / False Alarm - Noisest. (Night)		05/24/1995		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Rule Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
03/12/2007 03:43	070207	ROSE, SUSAN L (COMPLAINANT) BRINLEY, JOSEPH G (DEFENDANT)	VAJOSA, FREDERIC ROY (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints		03/12/2007		SUPER USER
01/04/2007 03:38	070043	DAVIS, JANINE (COMPLAINANT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	VAJOSA, FREDERIC ROY (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4015 / Noise Complaints		01/04/2007		SUPER USER
12/29/2005 14:33	067081	SECURITY (COMPLAINANT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)		60 BROOKSIDE PL, HILLSDALE, NJ	7009 / Fire Alarm In/Out of service	PENDING	06/18/2015		SUPER USER
09/09/2005 11:58	060908	GALDERONGRANADO S (ANTHONY) DRIVER ANDER L (DRIVER)	MAZZEO, JOSEPH (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	6008 / Accident Involving Non-Injury		08/08/2005		SUPER USER
10/13/2005 13:56	051020	WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)		60 BROOKSIDE PL, HILLSDALE, NJ	7009 / Fire Alarm In/Out of service		10/13/2005		SUPER USER
07/28/2005 03:32	050758	HILLSDALE AMBULANCE CORP (CAREGIVER) HILLSDALE FIRE DEPARTMENT (OTHER) WASTE MANAGEMENT INC OF HILLSDALE (OWNER) WESTWOOD POLICE DEPARTMENT (COMPLAINANT)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4910 / Fire Call-Response for F.D.		07/28/2005		SUPER USER
08/14/2005 08:18	050795	BECHTEL, PAUL (COMPLAINANT)		60 BROOKSIDE PL, HILLSDALE, NJ	7511 / New Sign Age Replacement		08/14/2005		SUPER USER

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Rule Type	Location/Address / Loc. Type	Agency Incident / Actual CFS Type	Case Disposition	Closed Date	View Documents	Posted By
09/12/2005 02:12	050574	MURRAY, MIKE (OTHER)	FRANKAVOLA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4014 / Open Door/Window, Insect, of		09/12/2005		SUPER USER
03/03/2005 12:33	050113			60 BROOKSIDE PL, HILLSDALE, NJ	7009 / Fire Alarm In/Out of service		03/03/2005		SUPER USER
09/19/2004 11:25	040862	BRINLEY, THOMAS (COMPLAINANT)	RODRIGUEZ, LEE J (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4004 / Faint Noise	CLOSED	09/19/2004		SUPER USER
03/29/2004 09:20	040358	MOCCIA, PETER (COMPLAINANT) RUTHERFORD, DAVID (DEFENDANT)	HAMPTON, ADAM R (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	6519 / M/V Correl/Spot Parking ETC	CLEARED BY ARREST/ADULT	03/29/2004		SUPER USER
12/22/2003 12:25	031477	WASTE MANAGEMENT INC OF HILLSDALE (OWNER)		60 BROOKSIDE PL, HILLSDALE, NJ	7009 / Fire Alarm In/Out of service		12/22/2003		SUPER USER
12/04/2003 08:01	031376	ROSSELL, ROBERT (DEFENDANT)	FRANKAVOLA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ 07842 (HOME)	9101 / Public Information		12/04/2003		SUPER USER
11/09/2003 14:00	031282	PARAMUS POLICE DEPT (COMPLAINANT) WASTE MANAGEMENT INC OF HILLSDALE (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	4011 / 911 Abandoned Call Invt.		11/09/2003		SUPER USER
06/22/2003 10:36	031071	WASTE MANAGEMENT INC OF HILLSDALE (COMPLAINANT)	ANGEMEYER, JEFFREY (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	5004 / Faint Articles	CLOSED	06/22/2003		SUPER USER
08/22/2003 06:54	030498	HADLEY, CAROL (COMPLAINANT)	FRANKAVOLA, ROBERT (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ 07842 (HOME)	4013 / CDOR Consideration Ignition		08/22/2003		SUPER USER
01/09/2003 07:14	030038	HARRIS, WILLIAM D (COMPLAINANT)	DONALDSON, CHRIS (PRIMARY) (OFFICER)	60 BROOKSIDE PL, HILLSDALE, NJ	7009 / Lock Out, V.V. Bolt, Etc	PENDING	01/09/2003		SUPER USER



Borough of Hillsdale
Investigation Study

270 Knickerbocker Ave.
Block 1212 Lot 13

Hiller & Skoglund Land
Associates
94 Waldwick Ave.
Waldwick, NJ 07463



Property Use:
Commercial

Zone District:
Industrial (I)

Property Acreage:
1.37

Permitted Use:
Yes

Property Value:

According to the Borough of Hillsdale the assessed value for Block 1212 Lot 13:

- | | |
|-----------------------|-------------|
| 1. Assessment: | \$1,818,800 |
| 2. Land Value: | \$ 822,000 |
| 3. Improvement Value: | \$ 996,800 |

Property Description:

This property (270 Knickerbocker Avenue) is located at the corner of Knickerbocker Avenue and Patterson Street and includes two one-story buildings with parking generally surrounding the buildings. The buildings appear to function as separate uses with the building closest to Patterson Street being utilized for a commercial use and the building located on Knickerbocker Avenue functioning as a warehouse type facility.

There are three curb cuts located on Knickerbocker Avenue and one curb cut located on Patterson Street. The building that fronts Patterson Street includes a driveway with a one-way drive to Knickerbocker Avenue. The parking is delineated with landscape areas and the streetscape including landscape planting areas and street trees. Additional landscape areas are located along the side yard. There are no sidewalks located along either street, however the parking is setback more than 10 feet along both streets which meets the requirements of the zoning ordinance. Although there is no site lighting, the

building has multiple lights on both Patterson Street and Knickerbocker Avenue that effectively light the parking areas.

The building facing Knickerbocker Avenue is a one story warehouse with a single roll up door. The property includes parking areas surrounding the building. Although there is no sidewalks, the parking is set back beyond the required 10 fee. A landscape buffer is located along the rear and side portions of the property.

Borough Records Concerning Enforcement Actions at the Subject Property:

The Borough's records show there have been a number of violations and complaints on the property. These include two (2) traffic violation/ motor vehicle accident, one (1) municipal ordinance violation, one (1) gas leak/explosion and two (2) fire dept call/request. The attached records provide all of the violations associated with the property.

Conclusion:

Given the building includes lighting on the building, has landscape areas along the streets for stormwater management, includes defined and delineated access points, and allows vehicles to maneuver within the property without having to back into the public right, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property not be designated.



Image 1: View along Knickerbocker Avenue.



Image 2: View of building fronting Knickerbocker Avenue.



Image 3: Corner of Patterson Street and Knickerbocker Avenue.



Image 4: Landscape area along side property line.

PD Case Search List

Block 1212 / Lot 13

Agency: HILLSDALE POLICE DEPARTMENT Location / Address: 270 knickerbocker ave Incident Location Only: YES City: Hillsdale

Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
03/27/1989	060343	EDSON, BRADY (COMPLAINANT)	LEIGHTON, PETER (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	6616 M.V. Control (Speed, Parking ETC)		03/27/1989		SUPER USER
03/04/1989	060277	BERGREN BROODGIE TOWING INC (FREEMAN); BUCKLEY, ROBERT; BUCKLEY, LAMERK; OTHERS	CARTY, JOHN F (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7006 / Lock Out, M.V., Bus, Etc		03/08/1989		SUPER USER
01/16/1988	061006	INSPECTIONS UNDERGROUND VIDEO COMPLAINT) KNOX, ROBERT (VICTIM) WASHINGTON TOWNSHIP INSURANCE CORP (CAREGIVER)	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER); LEIGHTON, PETER (SECONDARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7008 / Medical Assistance		10/16/1988		SUPER USER
08/28/1988	060286	MORTON, DAVID P (OWNER)	MCLAUGHLIN, DANIEL (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		09/29/1988		SUPER USER
06/21/1988	060683		SMITH, SEAN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		06/21/1988		SUPER USER
03/26/1987	071600	(UM) DEFENDANT)	C.C.O. FRIBELD, INSPECTOR (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	6008 / Summons	PENDING	09/15/2010		SUPER USER
08/14/1986	060023	FRANCISVILIA, ROBERT (COMPLAINANT); MORTON, DAVID P (VICTIM)	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		08/14/1986		SUPER USER

Monday, April 23, 2018 8:58:21 AM

FRANCISVILIA, ROBERT

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
07/25/1986	060186	HILLSDALE AMBULANCE CORP (CAREGIVER) HILLSDALE FIRE DEPARTMENT (OTHER)		270 KNICKERBOCKER AVE, HILLSDALE, NJ	1010 / Fire Call Request for F.D.		06/16/2015		SUPER USER
06/08/1986	060636	CONZALE, IVAN (DEFENDANT) AUSTON, DAVID P (VICTIM)	HARD, PETER (SECONDARY) (OFFICER); UNKNOWN (SECONDARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	1120 / All Other Theft by Decept etc		06/28/1986		SUPER USER
06/02/1986	060132	SPIETH, DAVID A (OTHER)	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER); MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7003 / Motor Vehicle (Other Infra)		03/01/1986		SUPER USER
06/01/2018	2018-0132	HANCOCK, EFFREY (E OTHER) HILLSDALE, KAREL (COMPLAINANT)	DONALDSON, CHRIS (PRIMARY) (OFFICER); SAVERS, DAVE (SECONDARY) (OFFICER)	270 Knickerbocker Ave, Hillsdale, NJ 07642 270 Knickerbocker Ave, Hillsdale, NJ 07642 68 MANOLA AVE APT4, HILLSDALE, NJ 07642-2708 (HOME) 270 KNICKERBOCKER AVE, HILLSDALE, NJ 07642 (HOME)	TRESPASSING	CLOSED	08/09/2018		DONALDSON, CHRIS
04/11/2016	2016-0261	STEEZ, JENNIFER (OTHER)	CARTY, JOHN (SECONDARY) (OFFICER); MORTON, DAVID P (PRIMARY) (OFFICER)	22 WELLET STREET PARK ROAD, NJ 07642-0809 270 Knickerbocker Ave, Hillsdale, NJ 07642	SUSPICIOUS ACTIVITY	CLOSED	04/14/2016	View Documents	KAPLAN, ALISA
11/11/2015	2015-1048	GALLANI, MICHAEL (VICTIM)	MUTUAL AID, BLS (PRIMARY) (OFFICER); WOODS, TRAVIS L (SECONDARY) (OFFICER); DIMMERMAN, LIZ J (SECONDARY) (OFFICER)	101 EAST PROSPECT AVE, HILLSDALE, NJ 07642	MEDICAL ASSISTANCE	CLOSED	11/11/2015		MUTUAL AID, BLS

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
03/05/2012	120166	CO, ANCHOR FENCE (OWNER); DICARLO, VITO (OWNER)	SMITH, SEAN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7002 / Bulb Checks (Other Infra)		06/24/2012		SUPER USER
07/20/2012	1203081	CO, ANCHOR FENCE (OWNER); HILLSDALE FIRE DEPARTMENT (OTHER); PARANAS POLICE DEPT (OTHER); PREGASAS, EMERGENCY (OTHER)	MCLAUGHLIN, DANIEL (OFFICER); RODRIGUEZ, LIZ J (PRIMARY) (OFFICER); SMITH, THOMAS (SECONDARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4012 / Gas Leak and Explosions		03/26/2012		SUPER USER
08/07/2011	1102024	BECHTEL, PAUL (COMPLAINANT)		270 KNICKERBOCKER AVE, HILLSDALE, NJ	7511 / Motor Boat Key Register #		08/07/2011		SUPER USER
07/18/2011	1107177	CO, ANCHOR FENCE (OWNER); DICARLO, VITO (OWNER)	CARTY, JOHN F (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7315 / Assistance	PENDING	06/18/2015		SUPER USER
06/16/2010	1009270	DICARLO, VITO (COMPLAINANT)	ARM, CAMERON (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	6008 / Arrested (Including Non-Injury)	PENDING	06/18/2015		SUPER USER
06/08/2008	0609880	SUSSMAN, MORGAN T (OTHER)	RODRIGUEZ, LIZ J (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7002 / Bulb Checks (Other Infra)		09/09/2008		SUPER USER
04/21/2008	0609434	CO, ANCHOR FENCE (OWNER); DICARLO, VITO (OWNER)	SCORDATO, JOHN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7002 / Bulb Checks (Other Infra)		08/21/2008		SUPER USER
07/11/2008	0607882	SUSSMAN, MORGAN T (COMPLAINANT)	KAVANAGH, SEAN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4021 / Suspicious Activity		07/11/2008		SUPER USER
06/15/2008	0606369	MORTON, DAVID P (DRIVER)	SCORDATO, JOHN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4025 / Suspicious Auto		06/01/2008		SUPER USER

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05/26/2007	0701006	DURIE, KETHI (OTHER) HILLSDALE DPW (OTHER)		270 KNICKERBOCKER AVE, HILLSDALE, NJ	4030 / Dept. of Public Works	PENDING	06/19/2010		SUPER USER
07/18/2005	0609162	CO, ANCHOR FENCE (OWNER); HILLSDALE AMBULANCE CORP (CAREGIVER); PARANAS POLICE DEPT (COMPLAINANT)	NOVAKOWSKI, FRANK (SECONDARY) (OFFICER); SCORDATO, JOHN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7009 / Medical Assistance		07/18/2005		SUPER USER
02/02/2005	0605887		MAZZEO, JOSEPH (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	6610 / M.V. Compl/Break, Parking ETC		02/02/2005		SUPER USER
04/28/2004	0413635	DURIE, MARK (COMPLAINANT) LE HAUING, JOHN (CLEAN) (OTHER)	FRANCISVILIA, ROBERT (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	7006 / Lock Out, M.V., Bus, Etc		06/29/2004		SUPER USER
06/13/2004	0408004	DICARLO, VITO (OWNER)	MCKEIVER, BRIAN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		06/13/2004		SUPER USER
02/06/2003	0201484			270 KNICKERBOCKER AVE, HILLSDALE, NJ	2833 / Motor Vehicle (VI Infra)	PENDING	06/18/2015		SUPER USER
07/15/2002	0205110	PYE, ROBERT (OTHER) HILLSDALE FIRE DEPARTMENT (OTHER)	MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER); SMITH, SEAN (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	1010 / Fire Call Request for F.D.		07/15/2002		SUPER USER
12/03/2001	0113076		MAZZEO, JOSEPH (PRIMARY) (OFFICER); MCLAUGHLIN, DANIEL (SECONDARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		12/03/2001		SUPER USER

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Report Date / Time	PD Case #	Person Name (Type)	Assigned Name / Case Role Type	Location/Address / Loc. Type	Agency Incident / Actual Case Type	Case Disposition	Closed Date	View Documents	Posted By
03/29/2001	0102843	DURIE, KETHI (OTHER) DURIE, MARK (OTHER) GROBEL, JAMES (OTHER) MORTON, ROBERT (COMPLAINANT)		270 KNICKERBOCKER AVE, HILLSDALE, NJ	7004 / Other Public Services		03/08/2001		SUPER USER
11/27/2000	0012816	MORTON, DAVID P (COMPLAINANT)	PARENTE, FABIO (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	5008 / Lost Article		11/27/2000		SUPER USER
06/29/2000	0007007	INSPECTIONS UNDERGROUND VIDEO (OWNER)	LEIGHTON, PETER (PRIMARY) (OFFICER)	270 KNICKERBOCKER AVE, HILLSDALE, NJ	4014 / Open Door/Window, Invest of		06/29/2000		SUPER USER

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8. SUMMARY AND FINDINGS:

Based on the information obtained through the investigation of each property within the investigation area, it is the recommendation of this report all Block and Lots meet the statutory criteria as an area in need of Rehabilitation.

Based on the information obtained through the investigation of each property within the investigation area, it is the recommendation of this report the following properties meet the statutory criteria and should be designated as an area in need of redevelopment.

Properties Recommended for Designation (Criteria 'd'):

- Block 1207: Lots 8, 9 & 10
- Block 1208: Lots 1, 2, 3, 4 & 5
- Block 1209: Lots 2, 3, 4 & 6
- Block 1210: Lots 6, 7 & 10
- Block 1211: Lots 1 & 2

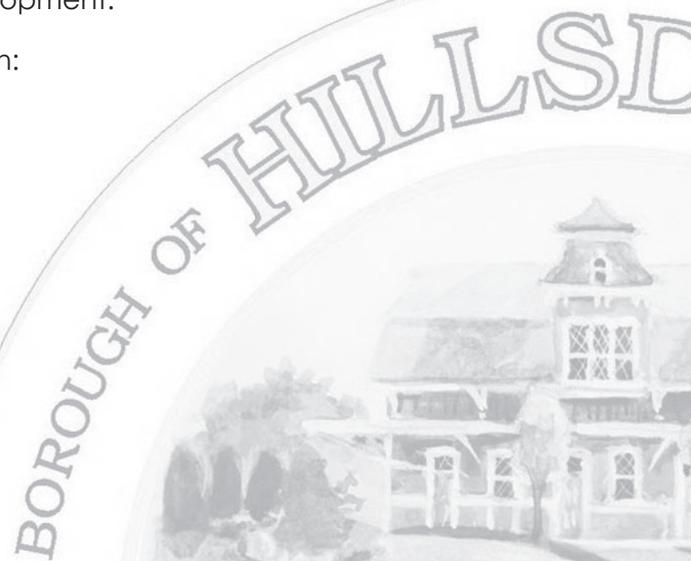
Based on the evidence gathered within this report which included multiple site visits, review of all available building, fire, police and tax assessors information, available GIS, and NJDEP information it was determined these property met Criteria 'd' which states: Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

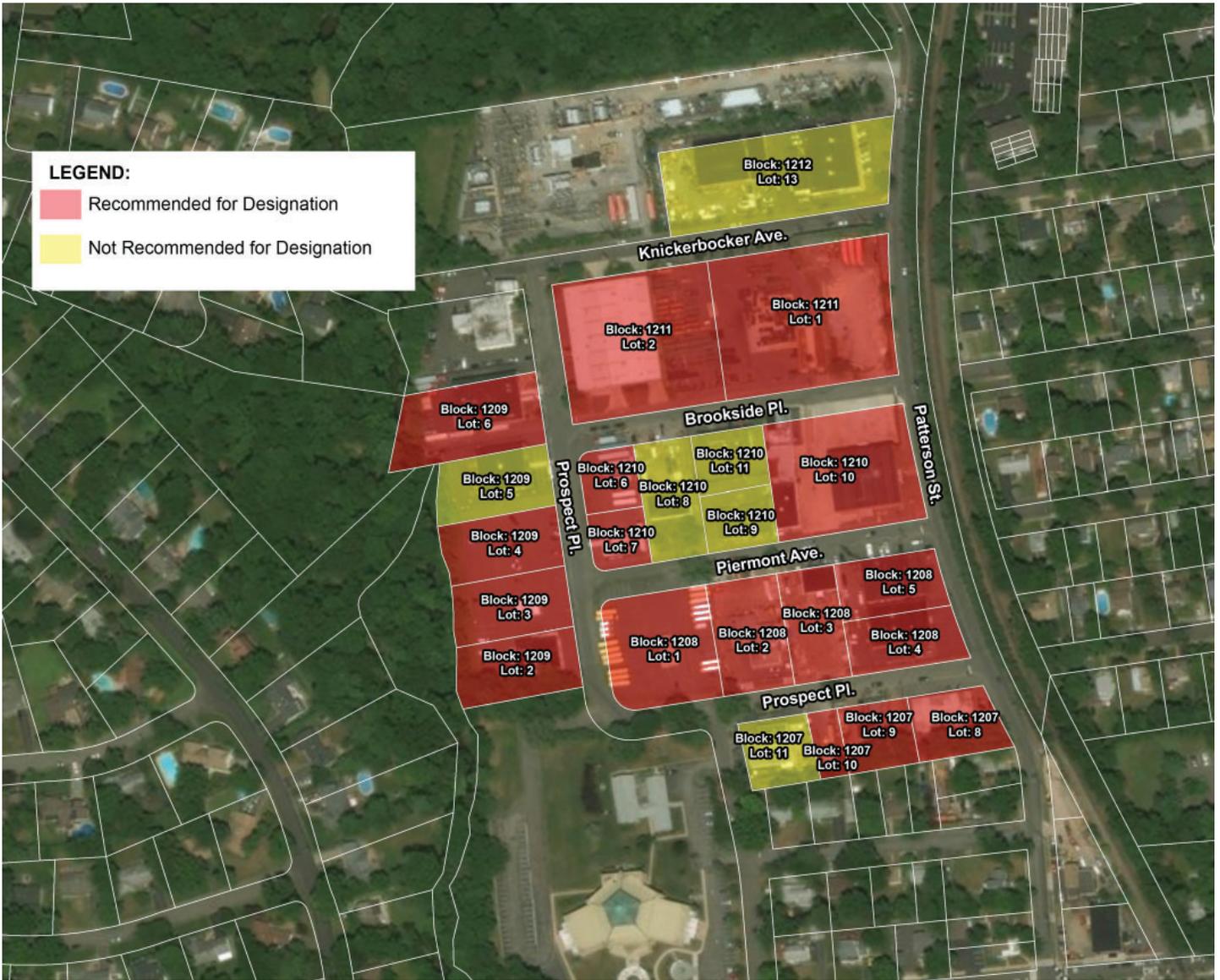
The Investigation Report demonstrates that the cumulative effects of the negative conditions existing upon these properties located within the Area of Investigation are having a decadent effect on the surrounding properties, which is demonstrated through the pictures, narrative, Borough records showing that many of the properties in the immediate vicinity are in visual need of repair and vacant.

Based on the information obtained through the investigation of each property within the investigation area, it is the recommendation of this report the following properties do not meet the statutory criteria and therefore should be designated as an area in need of redevelopment.

Properties Not Recommended for Redevelopment Designation:

- Block 1207: Lots 11
- Block 1209: Lots 5
- Block 1210: Lots 8, 9, 11
- Block 1212: Lots 13





Map: Recommendations of this report for designation and non-designation.