

Report of  
**Preliminary Investigation for  
Determination of an Area in Need of Redevelopment  
without Condemnation**

For

Block: 1207, Lots: 8, 9 10 & 11; Block: 1208, Lots: 1, 2, 3, 4 & 5; Block: 1209, Lots: 2, 3, 4, 5 & 6;  
Block: 1210, Lots: 6, 7, 8, 9, 10 & 11; Block: 1211, Lots: 1 & 2; Block: 1212, Lot: 13.



**Prepared By:**  
DMR Architects

**Prepared For:**  
Borough of Hillsdale  
Bergen County, New Jersey

Francis Reiner, LLA - PP  
License #: LI00616700

Updated: May 2019



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## **ACKNOWLEDGMENTS**

### **Mayor and Council**

Mayor John Ruocco  
Councilman Steven Segalas  
Councilman Frank Pizzella  
Councilwoman Abby Lundy  
Councilman Scott Karcich  
Councilman Anthony DeRosa  
Councilman Zoltan Horvath

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### **Planning Board Attorney**

Nylema Nabbie, Esq.

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Christopher P. Statile, P.E.

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Jonathan M. DeJoseph



**1. PURPOSE:**

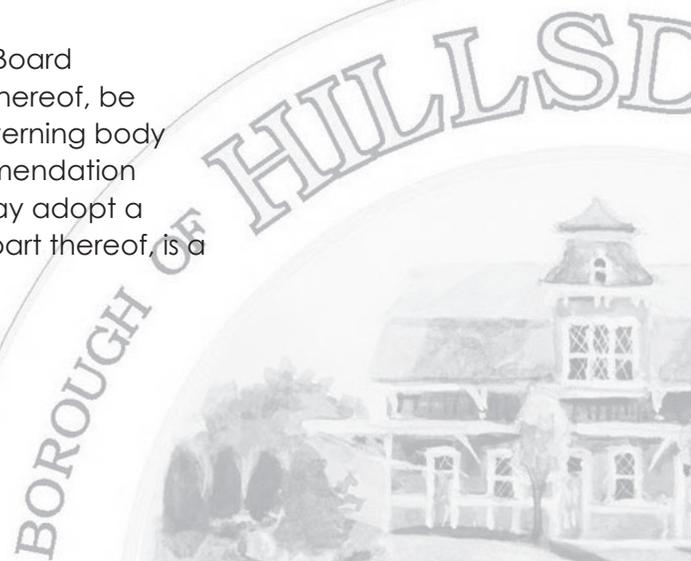
The Borough of Hillsdale adopted Resolution #19039 on January 15th, 2019 which directed the Borough of Hillsdale Planning Board to undertake a preliminary investigation pursuant to the Local Redevelopment and Housing Law (LRHL) to determine whether Block: 1207, Lots: 8, 9 10 & 11; Block: 1208, Lots: 1, 2, 3, 4 & 5; Block: 1209, Lots: 2, 3, 4, 5 & 6; Block: 1210, Lots: 6, 7, 8, 9, 10 & 11; Block: 1211, Lots: 1 & 2; and Block: 1212, Lot: 13. (the "Area of Investigation") meet the statutory criteria set forth in N.J.S.A. 40A:12A-1 as an area in need of redevelopment without condemnation.

In addition, Resolution #19039 authorized DMR Architects (DMR) to assist the Planning Board in the investigation of these properties. Pursuant to the resolution, the Planning Board adopted a resolution that appointed DMR to perform a preliminary investigation, which details the findings and recommendations relevant to whether the Area of Investigation should be designated as "an area in need of redevelopment".

**2. INTRODUCTION:**

This report is written pursuant to Section 6 of the LRHL, serving as the "statement setting forth the basis for investigation." In the relevant part the LRHL requires the following procedures:

- a. No area of a municipality shall be determined a redevelopment area unless the governing body of the municipality shall, by resolution, authorize the planning board to undertake a preliminary investigation to determine whether the proposed area is a redevelopment area according to the criteria set forth in Section 5 of P.L. 1992, c.79 (C:40:12A-5). The governing body of a municipality shall assign the conduct of the investigation and hearing to the planning board of the municipality.
- b. After completing its hearing on this matter, the Planning Board shall recommend that the delineated area, or any part thereof, be determined, or not be determined, by the municipal governing body to be a redevelopment area. After receiving the recommendation of the planning board, the municipal governing body may adopt a resolution determining that the delineated area, or any part thereof, is a redevelopment area.





**3. Property Description:**

The purpose of this report is to determine whether or not the identified properties in the Borough of Hillsdale meet one or more of the statutory criteria as an area in need of redevelopment pursuant to the Local Redevelopment and Housing Law (N.J.S.A.12A-5). The investigation area, consists of 23 lots that comprise approximately 14 acres, all of which are located in the Industrial (I) Zone. The study is depicted on Map 1 and includes the following tax parcels:

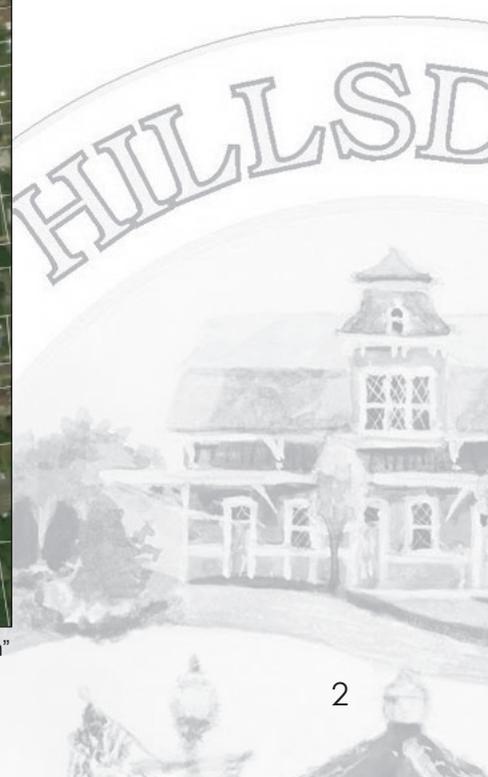
- Block: 1207, Lots: 8, 9 10 & 11;
- Block: 1208, Lots: 1, 2, 3, 4 & 5;
- Block: 1209, Lots: 2, 3, 4, 5 & 6;
- Block: 1210, Lots: 6, 7, 8, 9, 10 & 11;
- Block: 1211, Lots: 1 & 2;
- Block: 1212, Lot: 13;

The subject properties are generally located west of Patterson Street, along Prospect Place, Piermont Avenue, Brookside Place and Knickerbocker Avenue. The Investigation Area is primarily comprised of commercial and industrial uses along with surface and storage parking.

The western boundary of the investigation area is a Category One (C1)



Map 1: "Area of Investigation"



## PROPERTY DESCRIPTION

stream. This classification of this stream is protected from any measurable change in water quality because of their exceptional ecological significance, exceptional recreational significance, exceptional water supply significance, or exceptional fisheries resources.

Buffers are vegetated areas adjacent to waterways that provide protection to New Jersey's water quality. These special areas are established and protected through various rules and may vary in width. A 300 foot or Category One (C1) buffer is required by the Stormwater Management (NJAC 7:8) and the Flood Hazard Area Control Act rules (FHACA) at NJAC 7:13, for certain activities proposed adjacent to waters designated in the Surface Water Quality Standards (NJAC 7:9B) as C1 or their upstream tributaries in the same sub-watershed.

Map 2 identifies the properties that are affected by the buffer area.



Map 2: C1 Waterway Classification with buffers.

## 4. Background Information:

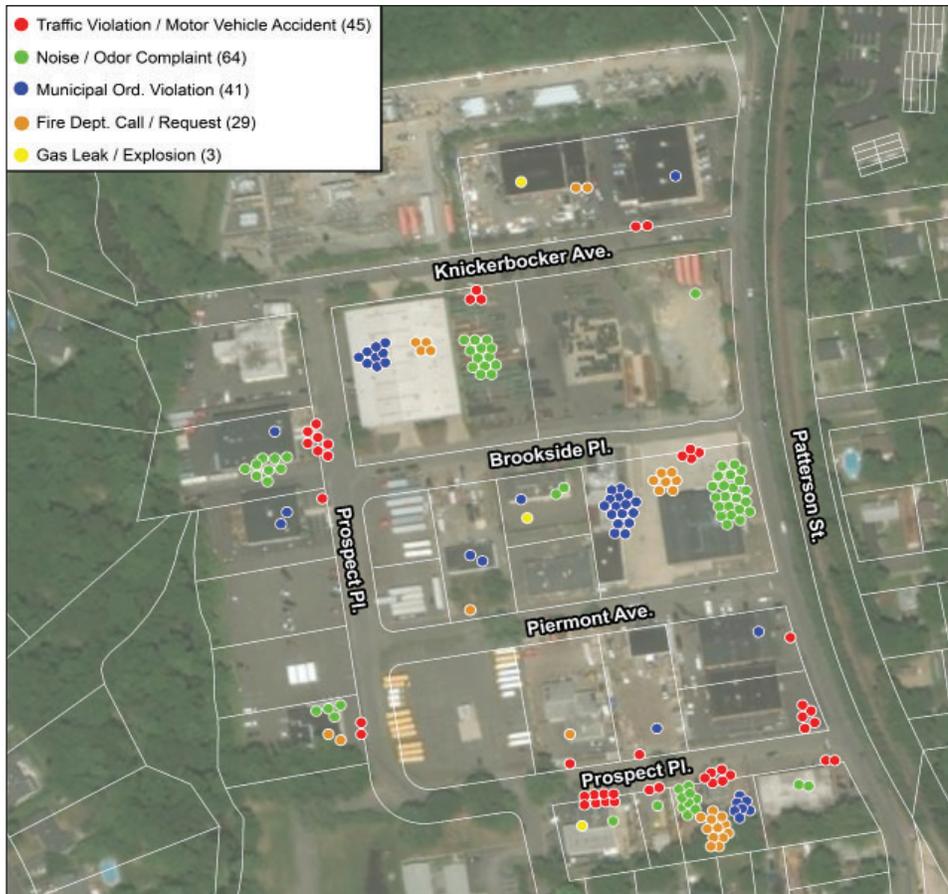
As a part of the process to determine if the properties being investigated meet one or more of the statutory criteria as an area in need of redevelopment, DMR Architects requested any relevant information pertaining to a potential designation from the Building, Fire and Police Departments as well as from the Tax Assessors offices for the past five (5) years.

In addition, DMR reviewed all available GIS maps, aerial photographs and reports pertaining to the properties in question. Multiple site visits were made to the area and photographs were taken for each property. Permission to access all properties was requested as part of this study. As noted for each property, access was not granted by all property owners.

The information obtained by the various departments identified a total of 182 items of note for all of the properties in the Investigation Area over the past five year. They included the following:

- 45 Traffic Violations / Motor Vehicle Accidents
- 64 Noise / Odor Complaints
- 41 Municipal Ord. Violations
- 29 Fire Department Calls / Requests
- 3 Gas Leak / Explosions

The information provided in the Appendix of this report includes copies of the various items as identified for each property.



Map 3: Items of note for the Investigation Area as identified for each property.

**5. Existing Zoning in the Investigation Area:**

<u>Zone:</u>	Industrial (I) Zone
<u>Principal Permitted Uses:</u>	Light industrial use which could not cause injurious or obnoxious noise, vibration, smoke, gas fumes, odors, dust or other objectionable conditions. Laboratories, research, experimental or testing; Light, non nuisance manufacturing, processing, fabrication, assemblage, packaging and warehousing of products; Public Utility installations;
<u>Accessory Uses:</u>	Storage Building
<u>Conditional Uses:</u>	Service Stations, Public utilities, Apparel and dry cleaning establishments, Places of worship (see 310 - 67(H))
<u>Building Heights:</u>	30 feet maximum
<u>Building Coverage:</u>	50 percent maximum
<u>Lot Area:</u>	20,000 sf minimum
<u>Lot Frontage and width:</u>	100 feet minimum
<u>Lot Depth:</u>	N/A
<u>Front Yard Depth:</u>	25 feet minimum
<u>Side Yard Depth:</u>	Minimum 30 feet on each side or 15% of lot width on each side, whichever is lesser
<u>Rear Yard:</u>	10 feet minimum
<u>Floor Area Ratio:</u>	N/A
<u>Other Required Conditions and Supplementary Notes:</u>	See Also 310-113D. All permitted commercial and industrial activities shall take place within an enclosed building. Incidental storage out of doors shall be shielded from view from public streets and adjacent residence zones by fencing, landscaping or other appropriate measures. Whenever and lot in a Commercial "C" District or in an Industrial "I" District shall have a common boundary line, in whole or in part, with a lot or lots in a Residential District, no commercial or industrial uses shall be commenced or maintained on the lot in such Commercial or Industrial District unless and until there shall first have been established and, at all times during such use, maintained, along or in the immediate vicinity of such common boundary line, a buffer strip on which there shall be closely planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District.
<u>Total Floor Area Req:</u>	N/A



**10. STATUTORY CRITERIA FOR AN “AREA IN NEED OF REDEVELOPMENT” DESIGNATION:**

The laws governing redevelopment by municipalities in New Jersey are set forth in the LRHL, which is codified at N.J.S.A. 40A:12A-1 et seq. This statute grants the governing body of a municipality the power to authorize the Planning Board to conduct a study to determine whether an area is in need of redevelopment; to make such a determination following the completion of the study; and to adopt a redevelopment plan for the designated area.

An area may be determined to be in need of redevelopment only if, after an investigation by the Planning Board and a public hearing for which notice has been given, it is found that the area meets one or more of the following criteria:

- a. The generality of buildings are substandard, unsafe, unsanitary, dilapidated or obsolescent or possess any of such characteristics, or are so lacking in light, air or space, as to be conducive to unwholesome living or working conditions.
- b. The discontinuance of the use of buildings previously used for commercial, manufacturing or industrial purposes; the abandonment of such buildings; or the same being allowed to fall into so great a state of disrepair as to be untenable.
- c. Land that is owned by the municipality, the county, a local housing authority, redevelopment agency or redevelopment entity, or unimproved vacant land that has remained so for a period of ten years prior to adoption of the resolution, and that by reason of its location, remoteness, lack of means of access to developed sections or portions of the municipality, or topography, or nature of the soil, is not likely to be developed through the instrumentality of private capital.
- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.
- e. A growing lack or total lack of proper utilization of areas caused by the condition of the title, diverse ownership of the real property therein or other conditions, resulting in a stagnant or not fully productive condition of land potentially useful and valuable for contributing to and serving the public health, safety and welfare, which condition is presumed to be having a negative social or economic impact or otherwise being detrimental to the safety, health morals, or welfare of the surrounding area or community in general.
- f. Areas, in excess of five contiguous acres, whereon buildings or other improvements have been destroyed, consumed by fire, demolished or altered by the action of storm, fire, cyclone, tornado, earthquake or other casualty in such a way that the aggregate assessed value of the areas has been materially depreciated.
- g. In any municipality in which an enterprise zone has been designated pursuant to the “New Jersey Enterprise Zones Act,” P.L. 1983, c.303 (C.52:27H-60 et seq.) the execution of the actions prescribed in that act for the adoption by the municipality and approval by the New Jersey Urban Enterprise Zone Authority of the zone development plan for the area of the enterprise zone shall be considered sufficient for the determination that the area is in need of redevelopment pursuant to sections 5 and 6 of P.L. 1992, c. 79 (C.40A:12A-5 and 40A:12A-6) for the purpose of granting tax exemptions within the enterprise zone district pursuant to the provisions of P.L. 1991, c.431 (C.40A:20-1 et seq.) or

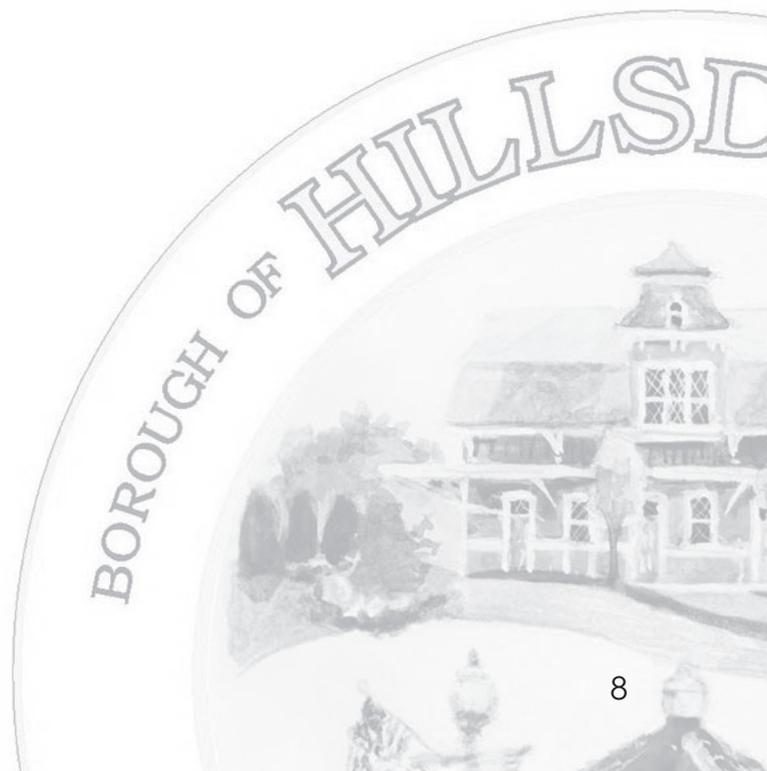
the adoption of a tax abatement and exemption ordinance pursuant to the provisions of P.L. 1991, c.441 (C.40A:21-1 et seq.), or the adoption of a tax abatement and exemption ordinance pursuant to the provisions of P.L. 1991, c.441 (C.40A:21-1 et seq.). The municipality shall not utilize any other redevelopment powers within the urban enterprise zone unless the municipal governing body and planning board have also taken the actions and fulfilled the requirements prescribed in P.L. 1992, c. 79 (C.40A:12A-1 et al.) for determining that the area is in need of redevelopment or an area in need of rehabilitation and the municipal governing body has adopted a redevelopment plan ordinance including the area of the enterprise zone.

- h. The description of the delineated area is consistent with smart growth planning principles adopted pursuant to law or regulation.

Additionally, a redevelopment area "may include lands, buildings or improvements which of themselves area not detrimental to the public health safety or welfare, but the inclusion of which is found necessary, with or without change in their condition, for the effective redevelopment of the area of which they are a part". See N.J.S.A. 40A:12A-3.

#### **11. CRITERIA FOR AN "AREA IN NEED OF REDEVELOPMENT" DESIGNATION BY BLOCK AND LOT:**

The following information is presented for each Block and Lot in order to determine it meets the statutory criteria as an area in need of Redevelopment per N.J.S.A. 40A:12A-1.



**Owner:**  
DFIO LLC  
11 Langerfeld Rd  
Hillsdale, NJ 07642



**Property Use:**  
Commercial

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.4217

**Permitted Use:**  
Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1207 Lot 8:

1. Assessment:	\$ 964,900
2. Land Value:	\$ 460,500
3. Improvement Value:	\$ 504,400

**Property Description:**

This property (49 Prospect Place) is located in the Industrial Zone at the corner of Patterson Street and Prospect Place. A small portion of the property, at the rear, abuts the adjacent Residential R-4 Zone. The property includes a two story building, which has multiple commercial/office tenants, is surrounded by asphalt surface parking that goes to the back of the curb along Patterson Street and Prospect Place.

The property is approximately 157 feet wide by 117 feet deep. The existing asphalt parking lot contains approximately twelve (12) angled parking spaces (striping is not visible for all spaces) located between the building and the public streets. In addition, the side and rear portions of the building are also comprised of asphalt from the building facade to the property lines with the exception of a 12 to 24 inch landscape planting strip located along the rear property lines / fence. With the exception of minor landscape planting strip, and small planters along the building facade on Prospect Place, the property is comprised of impervious surfaces.

Access for the property includes two curb cuts with one off Patterson Street and the other off Prospect

Place. The majority of the site consists of asphalt with minimum landscaping along the front of the building facing Prospect Place. There are no sidewalks or pedestrian walkways on the site and the asphalt parking along the street frontage goes directly to the back of curb along both streets.

As indicated, a portion of the property abuts a the R-4 (residential zoning district), which requires, a minimum landscape buffer strip with planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District (*Existing Zoning - Other Required Conditions and Supplementary Notes*). The property does not conform to the required landscape buffer as noted in the attached images.

Multiple site visits were conducted including an inspection of the interior of the property. The main entrances to the three (3) commercial suites face Prospect Place. There are additional entrances in the rear of the building and on both ends of the building. In all cases, the doors swing open directly onto the parking lot. There are no sidewalks or other safety measures to delineate this pedestrian movement from vehicular movements.

In addition, the building is set back approximately 27 feet from Prospect Place and 24 feet at it's narrowest point from Patterson Street. There are no sidewalks or buffers along either street that would prevent a vehicle from driving over the curb onto the streets. Further, the distance between the building and the back of curb is not sufficient for the angled parking and drive aisle from both a practical stand point and as required by the municipal zoning ordinance (Section 310-58).

In addition, the existing building has multiple roof leaders that are concentrated and spill onto the asphalt parking and across drive aisles. Water running across the asphalt into the public street was observed during several visits to the site.

The interior portions of the building are well kept and maintained. Some of the restrooms do not appear to be fully ADA compliant and based on the sump pump there appears to be signs of occasional water within that area of the building.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records indicate there have been a number of police reports associated with this property's address (*See Map 2 in this report*). The records show multiple traffic and motor vehicle accidents/violations and a couple of noise/odor complaints. See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria "d" of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

#### **Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d", which include:

- 1) The roof leaders drain water across the asphalt parking areas and drive aisles into the public right of way. During rain and freezing events this condition is detrimental to the safety, health and welfare

of the community by draining water across areas that are used by vehicles and pedestrians, which represents a detrimental impact to the health, safety and welfare of the community;

- 2) The portion of the property adjacent to the residential zoning district at the rear does not provide the required minimum landscape buffer strip with planted evergreens or other natural foliage, that is not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District. (*Existing Zoning - Other Required Conditions and Supplementary Notes*). This condition has a detrimental impact on the adjacent property owner as it does not block the industrial use from the residential zoning district;
- 3) The area between the building and the public streets are insufficient to allow both parking and drive aisles in such a manner as to meet the requirements of the Hillsdale Zoning Ordinance (Section 310-58). This deficiency creates a dangerous condition in that vehicles have to back into the public right of way, which is detrimental to the safety, health and welfare of the community. The existing dimension between the building and Prospect Place is approximately 27 feet. The zoning states, "Parking areas shall not be closer than 10 feet from any street line" (Section 310-58). As noted the asphalt parking goes directly to the back of curb along both streets, which does not meet this requirement.

The resulting condition leaves approximately 17 feet for parking and a drive aisle. Drive aisles are required to be a minimum of 12 feet (Section 310.106) for an angled parking configuration. The zoning code also states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4).

Even with a more commonly used 9 foot by 18 foot parking stall dimension there is inadequate space for the parking and drive aisle. Given all of the requirements for the parking, drive aisle width and offset distance from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way, which is dangerous condition that is detrimental to the health, safety and welfare of pedestrians and vehicles. A lack of lighting in the parking areas add to this dangerous condition.

- 4) Asphalt parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues, which is detrimental to the health, safety and welfare of the community.
- 5) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation." The requirement also states, "adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, and given the lack of pedestrian refuse areas can create dangerous conditions at night that can be detrimental to the health, safety and welfare of the community.
- 6) In addition, there are doors facing Prospect Place and Patterson Street that swing open onto the asphalt parking lot with no designated area of refuge for the pedestrians to safely enter or exit from

these doors. Several doorways have a threshold that is not flush with the existing grade and there is no exterior lighting at these areas. These conditions are dangerous for pedestrians entering or exiting the building by not having an area of refuse, by not having any exterior lighting at the doorways and by having a threshold that could be a tripping hazard;

7) The “other” condition that is detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition can exacerbate flooding in the area as well as potentially overwhelming the existing storm water system.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1207 Lot 8 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Google Aerial Map depicting the site, locations of the roof leader drains, lack of the 10 foot required buffer, distance between the building and the back of curb as well as the area at the rear that lacks the required screening.



**Image 2:** Google Street View Map depicting the site, location of one of the roof leader drains, lack of the 10 foot required buffer, distance between the building and the back of curb.



**Image 3:** View from the corner of Prospect Place and Patterson Street with no sidewalks, lighting and asphalt to the back of curb.



**Image 4:** Front door opening onto asphalt parking area.



**Image 5:** Roof leader draining across asphalt drive to public right of way.



**Image 6:** Roof leader draining across asphalt drive to public right of way with angled parking in front of building.



**Image 7:** Asphalt from building to the back of curb with no sidewalk and limited dimension for vehicles to maneuver.



**Image 8:** Patterson Street with no sidewalk, parking against building, limited dimension for vehicular maneuvering.



Image 9: Side of the building with roof leader draining on the asphalt parking



Image 10: View of rear portion of property adjacent to residential without required buffer



Image 11: Exterior door without light, threshold not flush and existing directly onto asphalt parking



Image 12: View along Prospect Place with angled parking and limited space for maneuvering. No sidewalks or pedestrian safety measures.



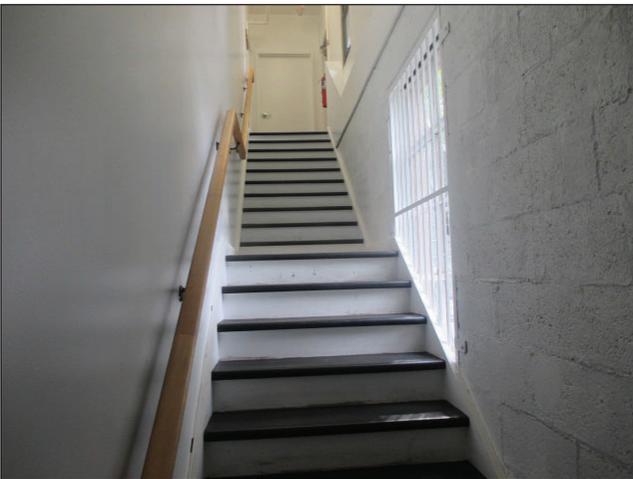
Image 13: View at drive entrance depicting damage to asphalt in the public right of way.



Image 14: Angled parking in front of the existing building along Prospect Place.



**Image 15:** View of rear portion of the building along Patterson Street depicting asphalt around the building, angled parking along the side with limited area for vehicular maneuvering, no required landscape buffer along the rear adjacent to the residential zone and no sidewalks.



**Image 16:** Interior stairs



**Image 17:** Example of interior portion of the building



**Image 18:** Example of interior portion of the building.



**Image 19:** Example of interior storage room.



**Image 20:** Example of interior portion of the building



**Image 21:** Example of interior bathroom which is not ADA compliant.



**Image 22:** Example of interior bathroom which is not ADA compliant.



**Image 23:** Sump pump



Owner: RBL Assoc. LLC  
55 Prospect Place  
Hillsdale, NJ 07642

**Property Use:**

Office / Truck Parking

**Zone District:**

Industrial (I)

**Property Acreage:**

0.3329

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1207 Lot 9:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 500,000 |
| 2. Land Value:        | \$ 405,000 |
| 3. Improvement Value: | \$ 95,000  |

**Property Description:**

This property (55 Prospect Place) includes two buildings, sheds, open storage bins, retaining walls as well as steps and walls at the front of the property. (Resolution PZ-18-01 indicates two sheds on the property but only one is visible from the public right of way) The two buildings include what appears to be a former single family structure that is currently utilized as an office building and a garage / storage building. The lot (approximately 125 foot wide by 116 foot) fronts on Prospect Place and is comprised of asphalt and gravel located on the both sides of the building.

The property abuts the adjacent Residential R-4 zoning district along the rear property line, which requires a minimum landscape buffer strip with planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District (*Existing Zoning - Other Required Conditions and Supplementary Notes*). The PZ-18-01 Resolution indicates the site plan was approved to allow the removal of the existing vegetation along the property line that abuts the residential and required the installation of a 10 foot high fence on the property line. As viewed

from the public right of way, the fence located at the rear of the property which abuts the existing residential zone is significantly less than the required 10 foot identified in the memorialized resolution. It appears to be approximately 4 foot in height.

The property includes large concrete bins located adjacent to the western property line that delineates areas for various landscape, hardscape and construction materials. The location of these bins are not identified on the approved site plan in the building department records. Bins were identified at the rear portion of the property but in along the western property line. These materials are located directly on the asphalt, which grades toward the public right of way. Based on the previous site plans, included in this section of the report, those areas of asphalt were identified for parking. In addition, there does not appear to be any control measures observed that would prevent sediment, chemicals or other materials from being captured on site during rain events adjacent to the existing delineated construction materials. Sediment, stone, landscape materials were all observed along the street at the base of the drives, which indicate these materials are being taken off the site and into the storm water system without any control measures.

Prospect Place has a 50 foot ROW. The curb to curb dimension for Prospect Place is approximately 30 foot. Along the front of the building retaining walls and steps have been constructed within the public right of way and are located less than 3 foot from the existing curb. In reviewing Building Department records, no site plan approvals or resolutions were found identifying these improvements. These conditions represent a faulty arrangement and design in that the location of the improvements are within the public right of way. The proximity to the curb does not provide adequate dimension for pedestrians to safely walk.

In addition, the site has curb cuts on both sides of the building allowing access to the parking area from Prospect Place. During multiple site visits large trucks were viewed parked in the lots. Trucks were viewed backing into the property from Prospect Place. Based on observations and reviewing the site plan it appears the length of the vehicles and trailers along with the location of the existing buildings and improvements would prevent some of the trucks from maneuvering through the property. This condition is not large enough to allow commercial vehicles to enter or exit the lot without having to either back into or out of the public street. In addition, there was minimal site lighting observed on the property.

As noted in this report (See Map 2), there have been numerous violations, motor vehicle accidents, municipal ordinance violations, fire calls as well as noise and odor complaints some of which support issues related to the health, safety and welfare of the community.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records indicate the property has had numerous violations over the past few years which include 19 pages of violations. There have been six (6) traffic violations/motor vehicle accidents, seven (7) municipal ordinance violations, twelve (12) fire call/requests, and nine (9) noise/odor complaints. Additionally, the records indicate there have been a number of alarms for burglary or holdups on the site. See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.
- 2) Per Section 210-60, "Access to truck standing, loading and unloading space shall be provided directly from a public street or alley or from any right-of-way that will not interfere with public convenience and will permit orderly and safe movement of truck vehicles". During several site visits, commercial trucks were observed backing into the property from the public right of way. This condition creates conflicts with other vehicles within the public right of way, which is detrimental to the safety, health and welfare of the community. This creates a dangerous condition for vehicles driving on Prospect Place.
- 3) The area adjacent to the residential zoning district does not provide the required buffer either through the Existing Zoning - Other Required Conditions and Supplementary Notes or the 10 foot fence identified in Resolution PZ-18-01. The lack of screening has a detrimental impact on the adjacent property owner;
- 4) The property lacks an delineated or identifiable parking spaces which is inconsistent with the site plan. These areas are currently being used to store landscape and construction materials.
- 5) The property includes walls and stairs located in the public right of way that are not identified in any of the Building Department records. These improvements impair pedestrian mobility with the right of way as they are located less than 3 foot from the back of curb. This condition could require pedestrians to walk in the street which is detrimental to the health, safety and welfare of the community.
- 6) The property includes large areas of landscape, hardscape and construction materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. The lot grades toward the street and there are no visible storm water measures located on the site. During rain events there are no control measures to prevent runoff from the materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

For context purposes only:

Section 310-107 Storm water Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the storm water management, the following should be considered:

*Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into stormwater runoff. Such source*

controls include, but are not limited to:

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.

In addition the requirements state: "Industrial storm water exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial storm water discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to storm water".

As indicated this property does not require these provisions, however the lack of storm water management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare given the lack of controls for this property.

- 6) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system, which is detrimental to the health, safety and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1207 Lot 9 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Construction bins located where parking was identified in the site plan application.



**Image 2:** Existing buildings and shed at the rear with sediment and gravel over the existing asphalt drive aisle.



Image 3: Google Aerial Map depicting the site, location of improvements in the public right of way, open construction bins were parking was identified in the site plan application, lack of required residential screening and maneuvering area between the buildings and various other improvements.

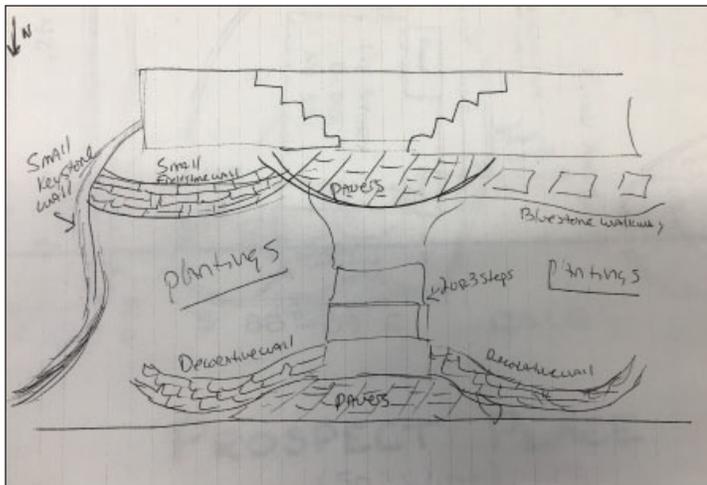


Image 4: Image of Information located in the Building Department Records identifying the proposed improvements that are located in the public right of way.

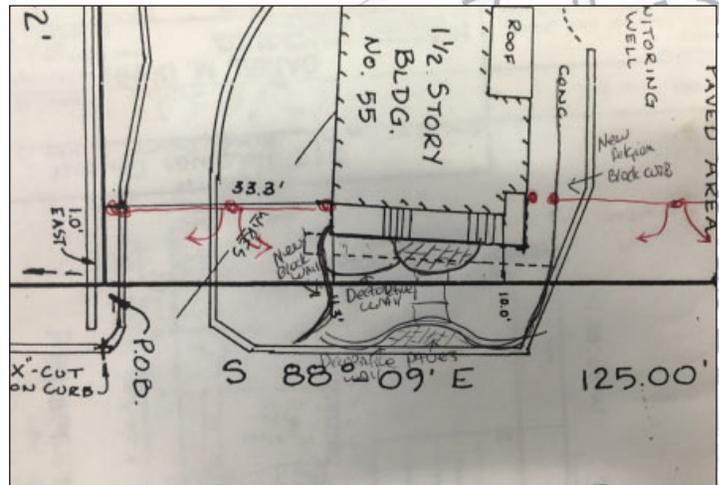
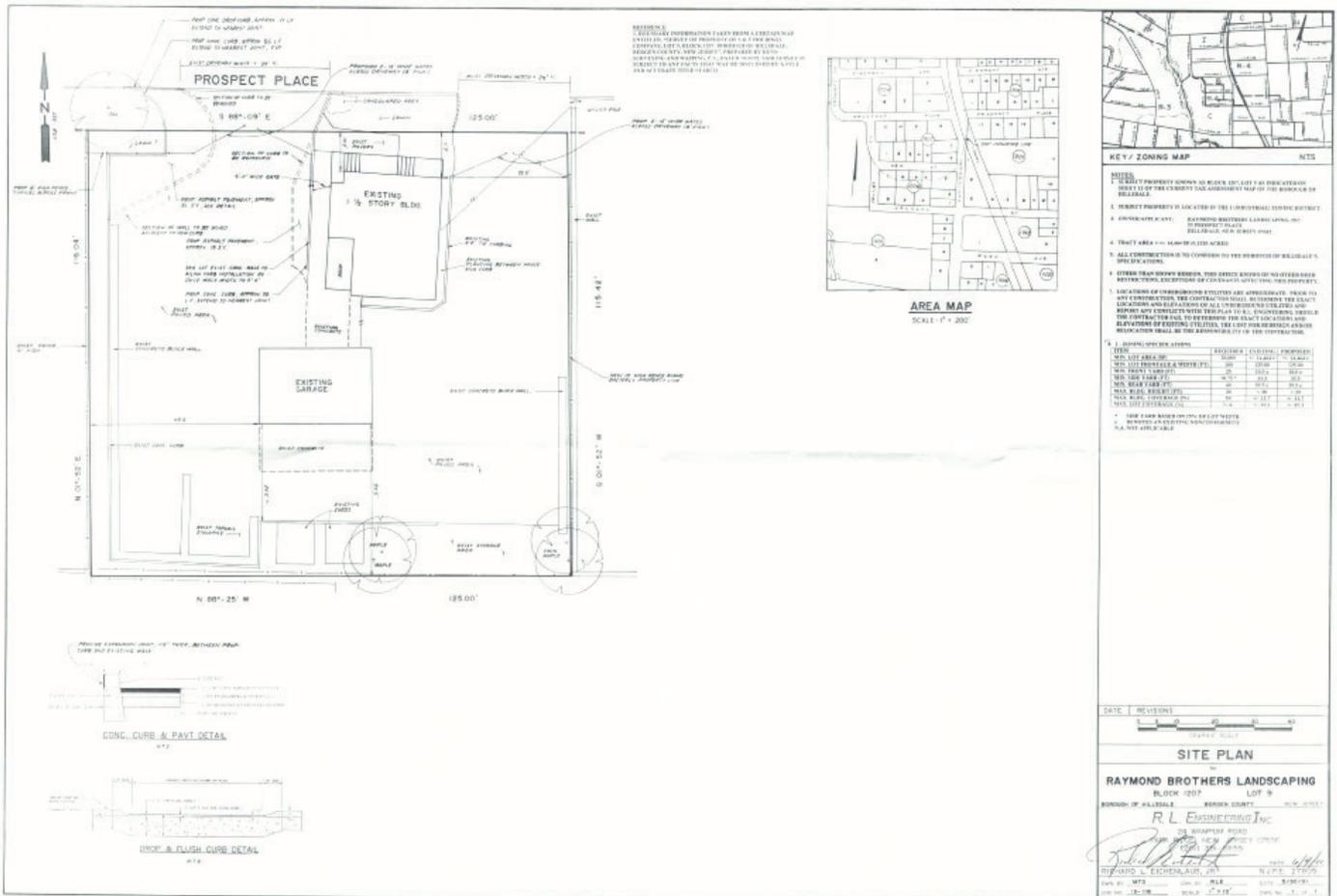


Image 5: Image of Information located in the Building Department Records identifying the proposed improvements that are located in the public right of way.



**Image 6:** Google Aerial Map depicting the site, location of improvements in the public right of way, open construction bins were parking was identified in the site plan application, lack of required residential screening and maneuvering area between the buildings and various other improvements.



**Image 7:** East drive with grades to the Prospect Place and commercial vehicle in the drive.



**Image 8:** West driveway on Prospect Place, with large commercial vehicle parked. Run-off with sediment and debris from property into public right of way.



Image 7: Site photographs located in the Building Department records of the property and improvements. Date of the photograph is unknown.



**Image 9:** East drive with grades down to the Prospect Place depicting sediment and gravel along public right of way. No sidewalks or lighting.



**Image 10:** West driveway on Prospect Place, with gravel and sediment from property in public right of way.



**Image 11:** No compliant sidewalk width in front of the building.



**Image 12:** West driveway on Prospect Place, with gravel and sediment from property in public right of way.



**Image 13:** East driveway entrance.



**Image 14:** West driveway on Prospect Place, with debris within the public right of way.



**Image 15:** West driveway entrance with landscape and hardscape materials in concrete areas, depicting sediment and gravel and no control measures.



**Image 16:** West driveway on Prospect Place, with trash bin and debris in the public right of way.



**Image 17:** Images depicting lack of 10 foot fence or screening from residential zone.

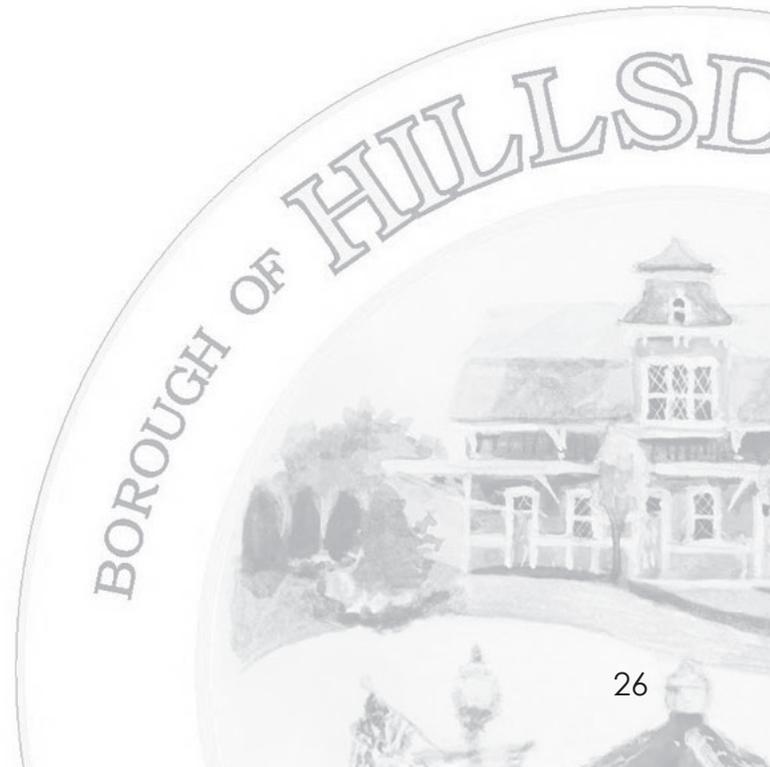




Image 18: Series of images depicting commercial truck with trailer backing into the property off Prospect Place.



Owner: 67 Prospect  
Place LLC  
227 Doxey Drive  
Park Ridge NJ 07656

**Property Use:**  
Surface Parking

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.1331

**Permitted Use:**  
No

**Property Value:**  
According to the Borough of Hillsdale the assessed value for Block 1207 Lot 10:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 136,600 |
| 2. Land Value:        | \$ 129,600 |
| 3. Improvement Value: | \$ 7,000   |

**Property Description:**

This property is comprised of two shed buildings and an asphalt / gravel surface lot that is approximately 50 feet wide by 116 feet deep.

The property abuts the Residential R-4 zoning district along the rear property line, which requires a minimum landscape buffer strip with planted evergreens or other natural foliage, not less than six feet in height, and of such character as will effectively screen such use from the abutting Residential District.  
*(Existing Zoning - Other Required Conditions and Supplementary Notes)*

Access to the property was requested but was not granted. During several site visits as well as reviewing GIS and aerial photography, the required six foot buffer along the rear portion of the property does not exist. Building Department records did not provide any information pertaining to the removal or replacement of the required screening with fencing as identified on Block 1207 Lot 9. Along the front and of the property there is an approximately six foot chain linked fence. The sides of the property include fencing of varying heights.

The existing lot includes several trailers/sheds at the rear that along with the width of the property prevent the trucks that park on the site from completing full movement turns within the property. This creates a situation where commercial vehicles either back into or out of the property from Prospect Place. This was observed several times during site visits. Given the size of the vehicles, frequency of occurrence, this creates safety issues for non-commercial vehicles using the public streets.

The property has grading that slopes from the rear of the property towards Prospect Place. There was no site lighting (adequate) observed on the property. The impervious surface drains directly onto the public right of way and into Prospect Street. Sediment, gravel and debris were observed in the public right of way and along the street at the driveway entrance to this property.

The poor condition of the asphalt along the street at the driveway as evidenced by the deterioration would be consistent with freeze / thaw damage caused by water draining from the property into the public right of way. Given the condition of the asphalt is worse in this location from other locations in the public street, it would be less likely this was caused by drainage from the street.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", which include:

- 1) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semi-public, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks adequate site lighting with one cobra head type light located at the north east corner of the site. The lack of proper site lighting for the remaining portions of the property create dangerous conditions, which are inconsistent with the requirements of the zoning ordinance and represent a detrimental condition to the health safety and welfare of the community.
- 2) Per Section 210-60, "Access to truck standing, loading and unloading space shall be provided directly from a public street or alley or from any right-of-way that will not interfere with public convenience and

will permit orderly and safe movement of truck vehicles". During several site visits, commercial trucks were observed backing out of the property into the public right of way. This condition creates conflicts with other commercial vehicles within the public right of way, which is detrimental to the safety, health and welfare of the community.

- 3) The area adjacent to the residential zoning district does not provide the required landscape buffer (Existing Zoning - Other Required Conditions and Supplementary Notes) which has a detrimental impact on the adjacent property owner.
- 4) The property includes large areas of landscape, hardscape and construction materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

For informational purposes only:

Section 310-107 Storm water Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the storm water management, the following should be considered:

*Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into storm water runoff. Such source controls include, but are not limited to:*

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

*"Industrial storm water exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial storm water discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to storm water".*

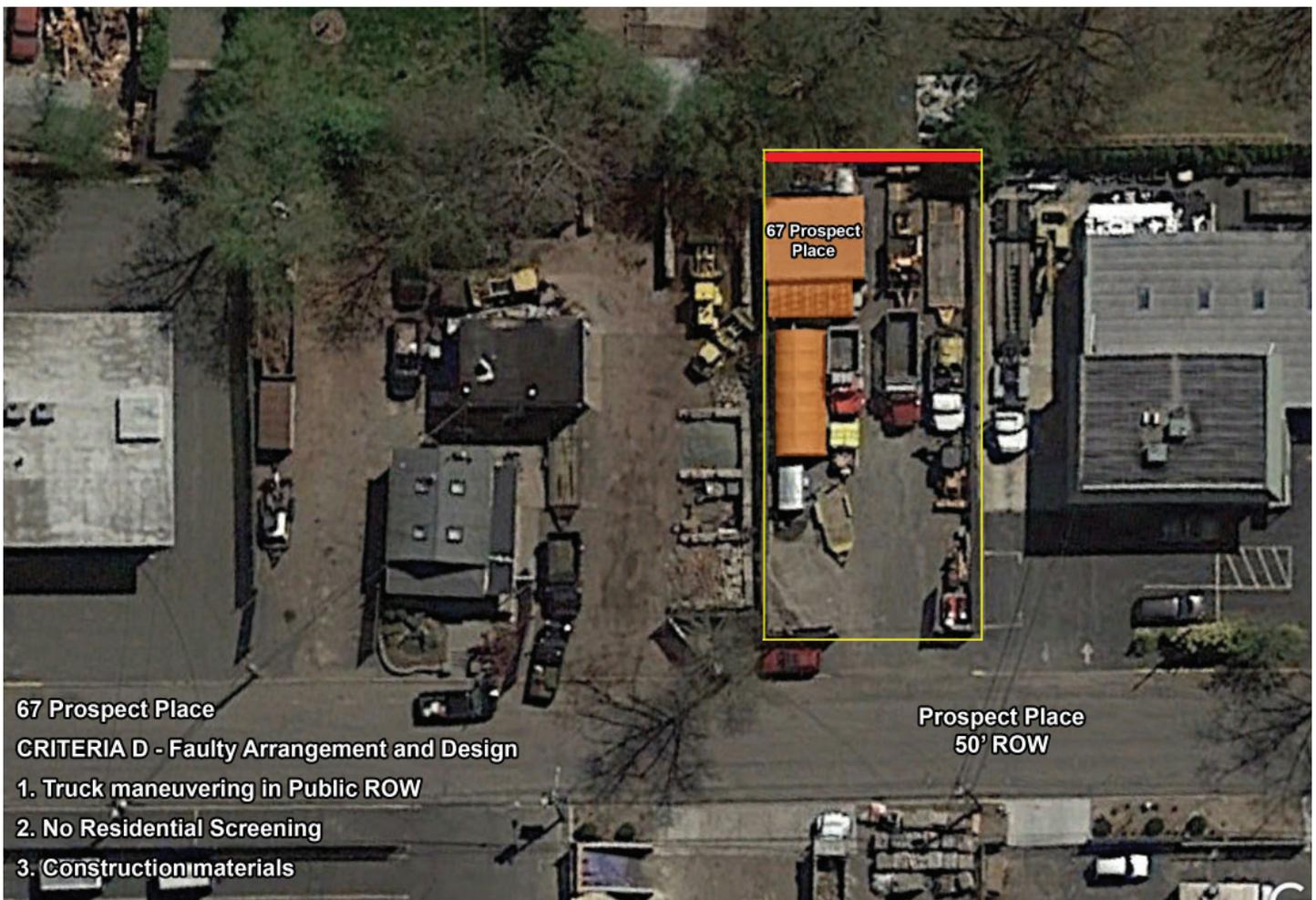
As indicated this property does not require these provisions, however the lack of storm water

management represents a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property.

- 5) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition can lead to flooding and overwhelming the existing storm water system.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1207 Lot 10 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Google Aerial Map which depicts the two sheds on the site, the lack of required screening along the rear property line and the construction materials located adjacent to the Prospect Place Right of Way.



**Image 2:** Driveway entrance with commercial vehicles in the public right of way and sediment in the public street.



**Image 3:** Driveway entrance with sediment and water run-off from the property into the public right of way.



**Image 4:** Damage to the driveway apron area. Water run off with sediment in the public right of way. Commercial vehicles backed into the property. No required landscape screening at the rear property line.



**Image 5:** Commercial vehicles backed into the property.



**Image 6:** Sediment in the public right of way in front of the driveway.



**Image 7:** Sediment in the public right of way in front of the driveway. Commercial vehicles parked facing public street.



**Image 8:** Google Street View which depicts the two sheds on the site, construction materials located adjacent to the Prospect Place Right of Way and the one over head cobra type light located at the north east corner of the property.



**Image 9:** Image depicting the lack of screening from the residential zone located to the rear of the property.



Owner: Louis John  
Ragusa  
73 Prospect Place  
Hillsdale, NJ 07642

**Property Use:**

Commercial

**Zone District:**

Industrial (I)

**Property Acreage:**

0.3329

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1207 Lot 11:

1. Assessment:	\$ 679,300
2. Land Value:	\$ 405,000
3. Improvement Value:	\$ 274,300

**Property Description:**

This property is located at the corner of Prospect Place and Valley Street and is comprised of a two story commercial building with surface parking off Prospect Place and a two bay garage that accesses directly off Valley Street.

The lot is predominantly comprised of impervious surface on all four sides, which includes asphalt on three sides and a concrete pad located on the east side of the building. The building comprises the remaining portions of the property and includes landscaped planted areas scattered around the building and along the streets. The rear portion of the property, which abuts the Residential R4 Zone, includes a landscape buffer with evergreen trees that appears to meet the intent of the *"Other Required Conditions and Supplementary Notes"* in the zoning ordinance.

The parking configuration is constrained with a one way access from the lot on Prospect Place to the egress on Valley Street. There is a pinch point, which measures approximately 12 feet in width from the

parking space to the existing building.

The roof leader line located along the garage at the rear of the property drains the water onto the asphalt parking, which based on the existing grades would flow either into the landscape area or directly onto Valley Street. In addition, during multiple site visits a large truck trailer was parked along the side of the building where the concrete area is located. There is surface parking located in front of the building, which may allow commercial trucks to maneuver within the property.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show that there have been several violations associated with this property. There have been eight (8) traffic violations/motor vehicle accidents, one noise/odor complaint and one gas leak/explosion. Additionally, the police department has been called to the site on several occasions for building checks and for criminal mischief. See the Appendix of this report for all of the records and violations associated with the property.

**Conclusion:**

For the following reasons, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property should not be designated.

1. The property includes the landscape screening requirements along the residential property line.
2. The property includes the required 10 foot buffer along both street frontages.
3. The parking is designed in such a manner as to allow vehicles to maneuver within the site without having to back into the public right of way.
4. The site includes lighting on the sides of the building.
5. The drive aisles allow vehicles to back into the two garage bays without having to back into the public right of way along Valley Street,
6. The roof leader drain, which flows over the asphalt, is located at the rear of the building away from the garage and not in any area where parking spaces are delineated and goes along the rear property line toward the 10 foot landscape area where the interior curb is broken up.



**73 Prospect Place**

- 1. Roof Leader do not go across parking or pedestrian areas**
- 2. Parking movements are within the property**
- 3. Building location allows full movement around the building**
- 4 10' buffer is provided**
- 5. Residential screening is provided**
- 6. Lighting is provided**

**Image 1:** Street view along Prospect Place which includes the 10 buffer, parking designed to allow vehicles to maneuver with the property, lighting located on the building and the landscape screening along the rear portion of the property.



**73 Prospect Place**

- 1. Roof Leader do not go across parking or pedestrian areas**
- 2. Parking movements are within the property**
- 3. Building location allows full movement around the building**
- 4 10' buffer is provided**
- 5. Residential screening is provided**
- 6. Lighting is provided**

**Image 2:** Street view from Valley Street depicting the screening along the rear portion of the property, lighting on the building roof leader drain angled toward the rear property line and the broken up curb where water drains.



**Image 3:** View from Prospect Place to driveway entrance and parking.



**Image 4:** Two-story building with truck trailer on the side. Includes sidewalk along Prospect Place.



**Image 5:** Second driveway entrance on Prospect Place with no sediment or debris in the public right of way.



**Image 6:** Parking and asphalt along side yard.



**Image 7:** Garage located on Valley street with landscape planting and buffer areas adjacent to the R4 zone depicted.



**Image 8:** Two story office with parking in front of the building on Prospect Place.



Owner: 560 Piermont  
Ave. LLC  
107 Ivy Lane  
River Vale, NJ 07675



**Property Use:**  
Surface Parking

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.8732

**Permitted Use:**  
Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 1:

1. Assessment:	\$ 562,600
2. Land Value:	\$ 540,400
3. Improvement Value:	\$ 22,200

**Property Description:**

This property (560 Piermont Avenue) is an asphalt surface parking lot located on the corner of Prospect Place and Piermont Avenue. The lot, which is approximately 185 feet wide and 200 feet deep, does not include any site lighting and has two curb cuts with one located on Prospect Place and the other located on Piermont Avenue.

The lot is comprised of 100% impervious asphalt. The right of way for Prospect Place and Piermont Avenue includes a 10 foot grass strip between the back of curb and the perimeter fence surrounding the parking lot. During multiple site visits, large commercial vehicles, 18 wheeler trucks and trailers, boats and boat trailers as well as rusting construction materials were all observed within the property. It was noted some vehicles parked on the site are being stored overnight. There are multiple signs located on the perimeter fencing indicating parking spaces within the lot are for rent. Given the lack of lighting coupled with the use of the lot for both commercial and non commercial vehicles this represents a dangerous condition. Gravel, broken up asphalt and sediment were observed in the streets and within the grass areas of the

public right of ways surrounding the property.

From historic site photos, the lot appears to have included a refueling station with two pumps which are no longer located on the site. A six foot chain linked fence surrounds the perimeter of the property that does not screen any of the stored or parked vehicles in the lot from the public right of way.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets Criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks any site lighting, which creates dangerous conditions that are detrimental to the health safety and welfare of the community especially considering spaces are for rent and the lot is being used for both commercial and non commercial vehicles parking as well as storage for boats and other commercial vehicles.

Section 310-58 states, "Parking areas in commercial and industrial districts" prohibits parking areas from being within 10 feet of any property line, requires parking standards to be met on-site, but also allows off-site parking if it is approved as part of a community parking use. Section 310-117 states "Outside storage, when permitted, shall only be permitted in specific areas approved by the Board. Such areas shall, as nearly as may be practicable, be shielded from public view and protected by adequate fencing or screening". As indicated the perimeter chain linked fence does not provide any screening from the public right of way.

- 2) The other conditions that are detrimental to the health safety and welfare include the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding, which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, and is 100% impervious with no visible storm water management control measures this represent a detrimental impact to the safety, health

and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 1 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Street view from Prospect Place depicting the six foot chain linked fence, with commercial vehicles and trailers stored on site without screening or shielding the vehicles from public view.



**Image 2:** View along Prospect Place.



**Image 3:** Asphalt parking area during the week with limited vehicles.



**Image 4:** Asphalt parking area with commercial vehicles on weekend.



**Image 5:** Sediment and gravel run-off from asphalt parking through the public right of way along Prospect Place.



**Image 6:** Sediment and gravel run-off from asphalt parking through the public right of way along Piermont Avenue.



**Image 7:** Sediment and gravel run-off from asphalt parking through the public right of way along Prospect Place.



**Image 8:** Asphalt parking area with boats and commercial vehicles on weekend.



**Image 9:** Sediment and gravel run-off from asphalt parking along the driveway entrance on Piermont Avenue.

Owner: 74 Prospect Properties, LLC  
15 Franklin St. Ste. C  
Tenafly, NJ 07670



**Property Use:**

Warehouse

**Zone District:**

Industrial (I)

**Property Acreage:**

0.5739

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 2:

1. Assessment:	\$ 675,200
2. Land Value:	\$ 500,000
3. Improvement Value:	\$ 175,200

**Property Description:**

This property (74 Prospect Place) includes a one story building that has several different sections, which appear to be used for commercial and warehouse/garage uses. The property fronts Prospect Place and is a through lot with access from Piermont Avenue as well. There are a total of three access points (4 curb cuts) into the property with two on Prospect Place and one on Piermont Avenue.

The property is comprised of approximately 100% impervious surfaces including parking surrounding the building as well as the building itself. Along Piermont Avenue there are multiple areas sectioned off with large concrete barriers that have landscape and hardscape materials. The property does not appear to have any delineated parking spaces on-site. In reviewing the Building Department records, the site plan for this property includes a number of items that are inconsistent with the current use and configuration of the property. They include:

1. The site plan included two access points off Piermont Avenue, with one ingress and one egress. The ingress drive has been closed off with large concrete barriers.

2. The site plan included three parking spaces between the two egress points off Piermont Avenue and six parking spaces along the eastern property line. Large open bins divided by concrete barriers have are located in the areas where parking was identified on the site plan.
3. The site plan includes a 20 foot unencumbered fire lane between the building and the western property line. Currently this area includes a large two level steel framed outdoor storage structure for construction materials and equipment. These improvements are within the identified fire lane.

In addition, there does not appear to be any control measures to prevent run-off from these storage areas into the public right of way and the storm water system. Furthermore, along the Piermont Avenue wall there is an opening/spillway located at the bottom of the concrete section to allow run-off from the property and from the open landscape and construction material bins to go from the property into the public right of way and into the storm water system. (See images)

The lot is approximately 125 feet wide by 200 feet deep and the building is set back approximately 19 feet from Prospect Place and 83 feet from Piermont Avenue. The property does not have any site lighting. There is lighting located along the building. Multiple trucks were located throughout the property with no significant delineation between the parking areas and the access drives.

Downspouts for the roof run directly onto the asphalt with no visible storm-water management measures. The buildings appear to be in poor condition evidenced by the presence of Tyvek insulation along the exterior facade as well as visible damage to multiple areas along the facade of the building. Access to the property was requested but was not granted.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations on the property. These include a traffic violation/ motor vehicle accident and a fire dept call/request. See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

#### **Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks adequate site lighting and

given the size of the lot the building lighting would not be sufficient to meet the requirements of the zoning ordinance, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.

- 2) The site does not have any delineated parking spaces as identified on the Building Department records. In addition the ingress off Piermont Avenue has been blocked off with large concrete bins that are used to store construction and landscape materials. Furthermore, the area identified as a fire lane on the Building Department records includes a large metal storage structure that encumbers the identified fire lane. These items are inconsistent with the site plan represent a detrimental impact to the health, safety and welfare to the community in that vehicles parking on the property do not have identified spaces, the fire lane is encumbered creating potential emergency vehicle issues and access management has been altered from the approved plans.
- 3) As it pertains to "other conditions, the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community. Given this property is adjacent to the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.
- 3) The property includes large areas of landscape and hardscape materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. Along Piermont Avenue, a portion at the base of barrier has been removed to allow run-off from the site into the public right of way with no storm water measures located on the site. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

For informational purposes only:

Section 310-107 Storm water Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

This section states that as a part of the storm water management, the following should be considered:

*Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into storm water runoff. Such source controls include, but are not limited to:*

- [a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*
- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

*“Industrial stormwater exposed to source material. “Source material” means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial storm water discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to storm water”.*

As indicated this property does not require these provisions, however the lack of storm water management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Google Arial Map depicting the buildings, outdoor storage bins, one access point from Piermont Avenue, construction storage materials in the identified fire lane and a lack of delineated parking





**Image 1:** Driveway entrance with existing one story building.



**Image 2:** Existing one story building facade from Prospect Place depicting Tyvek insulation exposed.



**Image 3:** Driveway entrance at Prospect Place depicting facade repairs.



**Image 4:** Asphalt parking with construction and commercial vehicles.



**Image 5:** Driveway entrance with grades to the public right of way. Includes sediment build up in the street.



**Image 6:** Construction materials located directly on the asphalt area. Damage to protective bollard in the public right of way. Sediment and gravel in the street.



**Image 7:** Storage of materials on asphalt area. Sediment, gravel and potential chemicals visible on asphalt.



**Image 8:** Piermont Avenue frontage with spillway at landscape/hardscape bins to allow run off from asphalt area to the storm water system in the public right of way.



**Image 9:** Piermont Avenue frontage with spillway at landscape/hardscape bins to allow run off from asphalt area to the storm water system in the public right of way.



**Image 10:** Piermont Avenue frontage with spillway at landscape/hardscape bins to allow run off from asphalt area to the storm water system in the public right of way.



**Image 11:** Piermont Avenue frontage with masonry wall and raw materials coming over the top.



Owner: 539 Piermont  
Property LLC  
539 Piermont Ave.  
Hillsdale, NJ 07642

**Property Use:**

Office

**Zone District:**

Industrial (I)

**Property Acreage:**

0.4591

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 3:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 453,800 |
| 2. Land Value:        | \$ 400,000 |
| 3. Improvement Value: | \$ 53,800  |

**Property Description:**

This property (539 Piermont Avenue) includes a one story building being used as an office with two large roll up doors facing Prospect Place. The lot is approximately 100 feet wide by 200 feet deep and is a through lot with frontage and curb cuts on both Prospect Place and Piermont Avenue. Parking has been located in front of the building facing Piermont Avenue.

The building is set back approximately 145 feet from Prospect Place and 30 feet from Piermont Avenue. During site visits to the property, it was observed that a number of trucks parking in the side yard and along the front of the building facing Piermont Avenue. The 30 foot dimension between the building and the street, which includes parking, is not sufficient to allow vehicles to maneuver within the property without backing into or out of the public right of way and violates the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58).

In addition, there is an existing utility pole and guide wire located along the back of the existing curb with no barrier or encumbrance to prevent a vehicle from backing into either. The lack of depth, coupled

with the location and lack of safety measures for the utility pole and guy wire create an unsafe condition along the front of the building.

In reviewing the Building Department records, the site plan identifies parking between the building and Prospect Place which is currently not being utilized for parking. Along the east property line, a significant number of landscape / hardscape materials are being stored in sectioned off areas (bins) with concrete barriers. These areas are located in what is identified on the site plan for parking. There were no storm-water management control measures observed on site and sediment, gravel and other materials were observed in the public right of way and along the street in front of the property on both Prospect Place and Piermont Avenue.

In addition, the property is approximately 100% impervious with roof leader lines that drain directly onto the asphalt within the property. The impervious areas have grades that drain from the building to the public right of way, which cause run-off into the storm water system.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations on the property. These include a traffic violation/ motor vehicle accident and a municipal ordinance violation. See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

- 1) The area between the building and the public street facing Piermont Avenue is insufficient and does not meet all of the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which create dangerous conditions that are detrimental to the safety, health and welfare of the community.

The existing dimension between the building and Prospect Place is approximately 30 feet. The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58) This condition would leave approximately 20 feet for parking and a drive aisle. Drive aisles are required to be a minimum of 12 feet (Section 310.106) There are no pedestrian safety measures, sidewalks, or buffer areas between the back of curb and the building. In addition, there is a utility pole and guy wire located at the back of the curb and in front of several parking spaces. Further the site plan in the Building Department records for this property does not specify parking in that location. Given the requirements for the parking, drive aisle and offset from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the

public right of way and adjacent to the utility pole and guy wire, which is dangerous to the health, safety and welfare of pedestrians. A lack of on site lighting in the parking area adds to the dangerous condition.

In addition, the parking that is identified on the site plan is inconsistent with the use of the property which represents a faulty arrangement in that areas of the property are that are being used for parking have not been designed for it or have proper delineation of the spaces.

- 2) Parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues, which is detrimental to the health, safety and welfare of the community.
- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted there is a lack of site lighting for this property which represents a faulty arrangement and design that is detrimental to the health, safety and welfare of the community.
- 4) As it pertains to "other conditions, the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.
- 5) The property includes large areas of landscape and hardscape materials sectioned off with concrete barriers that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site.

Section 310-107 Storm water Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted.

For informational purposes only:

This section states that as a part of the storm water management, the following should be considered:

*Provide other source controls to prevent or minimize the use or exposure of pollutants at the site, in order to prevent or minimize the release of those pollutants into storm water runoff. Such source controls include, but are not limited to:*

*[a] Site design features that help to prevent accumulation of trash and debris in drainage systems, including features that satisfy Subsection D(5)(c) below;*

- [b] Site design features that help to prevent discharge of trash and debris from drainage systems;*
- [c] Site design features that help to prevent and/or contain spills or other harmful accumulations of pollutants at industrial or commercial developments; and*
- [d] When establishing vegetation after land disturbance, applying fertilizer in accordance with the requirements established under the Soil Erosion and Sediment Control Act, N.J.S.A 4:24-39 et seq., and implementing rules.*

In addition the requirements state:

*“Industrial storm water exposed to source material. “Source material” means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial storm water discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to storm water”.*

As indicated this property does not require these provisions, however the lack of storm water management coupled with the landscape, hardscape and construction materials located on the site represent a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. Per Section 310-107, “Industrial storm water exposed to source material. “Source material” means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial storm water discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to storm water”.

During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 3 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Head in parking along Piermont Avenue with not enough depth to allow vehicles to maneuver within the right of way. Includes the utility pole and guy wire.



**Image 2:** Head in parking along Piermont Avenue with no enough depth to allow vehicles to maneuver within the right of way with lack of lighting for the area.



**Image 3:** Head in parking along Piermont Avenue with no enough depth to allow vehicles to maneuver within the right of way.



**Image 4:** Head in parking along Piermont Avenue with no enough depth to allow vehicles to maneuver within the right of way.



**Image 5:** Head in parking along Piermont Avenue with wood placed in the public right of way to encourage vehicles to drive over the existing curb which has visible damage.



**Image 6:** Concrete area off Prospect Place with truck parking.

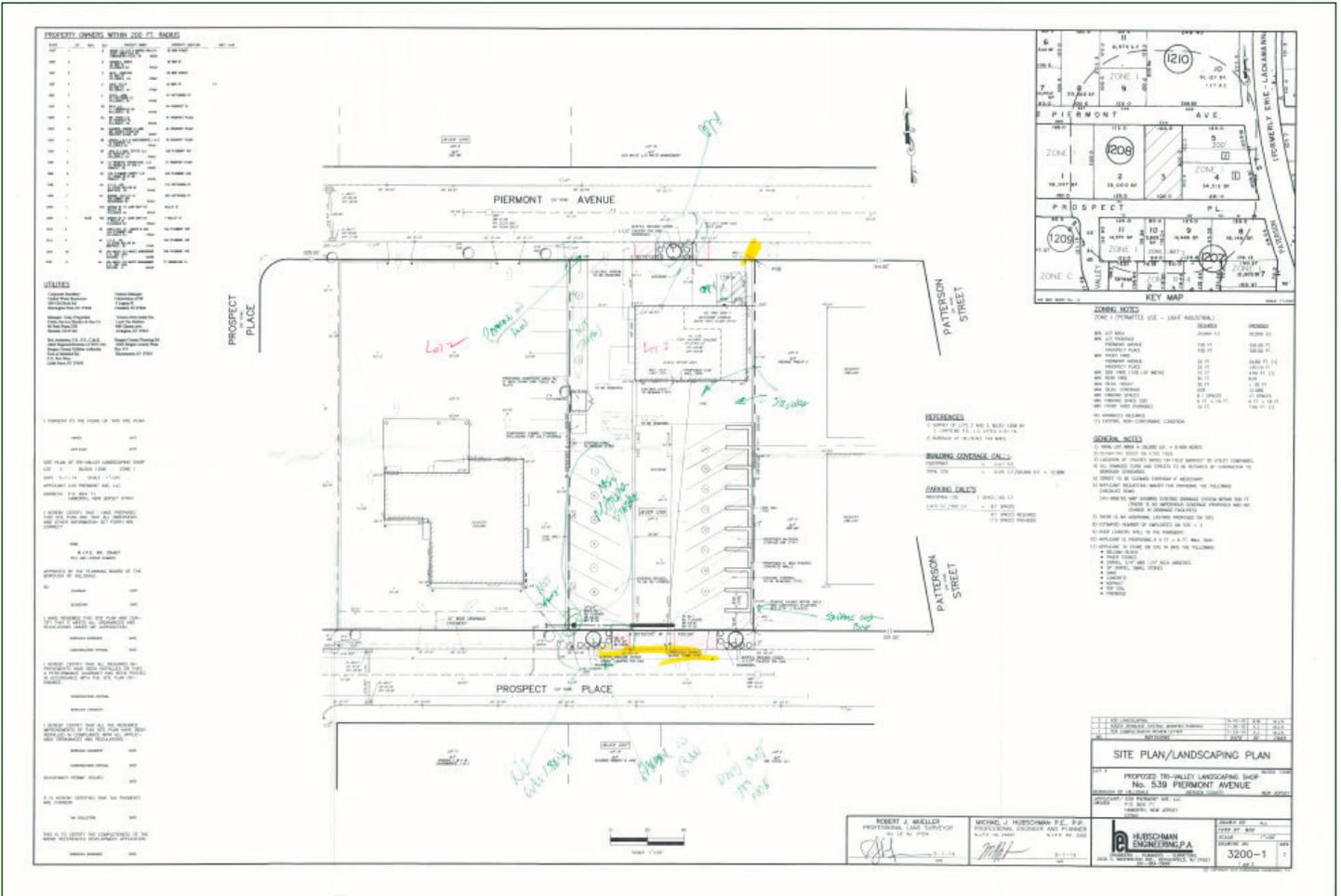


Image 7: Building Department Site Plan depicting parking along the Prospect Place frontage and macadam along the Piermont Avenue frontage. No large concrete bins are identified or located on this site plan.



Image 8: Asphalt parking from Prospect Place right of way.



Image 9: Sediment in public right of way on Prospect Place.



**Image 10:** Construction materials, debris and garbage stored in the public right of way. Concrete barrier bins with construction and landscape materials located along the east property line where the site plan has parking identified. Lack of lighting on site.



**Image 11:** Prospect Place entrance with commercial vehicles and sediment within the public right of way.



**Image 12:** Landscape bins on asphalt with no visible control measures. Large amount of sediment in the public right of way.



Image 13: Rusting construction materials and damage to the existing asphalt.



Image 14: Construction debris in the public right of way with sediment and gravel run off in the public right of way



Image 15: Construction materials and debris located on the asphalt parking area.



Image 16: Construction materials and debris located on the asphalt parking area.



Image 17: Storage areas for landscape materials spilling out onto the asphalt parking area.

Owner: C.K.D. Inc  
10 Stone Hollow Rd  
Montvale, NJ 07645



**115 Paterson Street**  
**Block 1208 - Lot 4**

**Property Use:**

Warehouse/Office

**Zone District:**

Industrial (I)

**Property Acreage:**

0.4614

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 4:

1. Assessment:	\$ 707,900
2. Land Value:	\$ 392,000
3. Improvement Value:	\$ 315,900

**Property Description:**

This property (115 Patterson Street) is located at the corner of Patterson Street and Prospect Place and includes a one story building that is approximately 75 feet by 104 feet surrounded by surface parking and asphalt. The property includes a total of three curb cuts with two located off Prospect Place and one off Patterson Street. The main entrance to the one story building faces Patterson Street. The building is set back approximately 45'-0" from Patterson Street and 37'-0" from Prospect Place.

The property is comprised of approximately 100% impervious surfaces with no visible storm-water management measures provided on-site. Roof leaders drain water directly onto the asphalt and across the asphalt parking with grades that drain from the building to the public right of way, which allows run-off into the storm water system with out any control measures. In addition, there are construction materials that were observed on the site rusting on top of the asphalt parking lot.

Along Patterson Street the asphalt parking slopes away from the building and toward he street. The slopes

along the side of the building on Prospect Place are more severe in nature going away from the building toward the public right of way.

The property includes no sidewalks or landscape areas along either street and the asphalt parking area goes directly to the back of the curb, which is not permitted in the zoning ordinance. There are two utility poles located within the asphalt parking area with one on each street. Neither utility pole has any barriers, striping or safety measures to protect or identify the pole from vehicles. The guy wire for the utility pole located on Patterson Street has been destroyed and is no longer attached to the pole.

The rear portion of the property is also comprised of asphalt with some parallel parking along the rear property line. There are two exit doorways located at the rear of the building both with stairs, neither of which have any safety railings.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations on the property. These include a five different traffic violations/motor vehicle accidents. See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

#### **Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The area between the building and the public streets are insufficient and do not meet all of the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which create dangerous conditions that are detrimental to the safety, health and welfare of the community. The existing dimension between the building is approximately 45'-0" from Patterson Street and 37'-0" from Prospect Place.

The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). This condition is not met along either street frontage. In the best condition, it would leave approximately 35 feet of area and in the worst condition it would leave 27 feet of area for parking and a drive aisle. Drive aisles for head in parking are required to be a minimum of 18 feet (Section 310.106). The zoning code also states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4).

The dimension between the building and the setback is not sufficient for vehicles to maneuver within the property lines and requires vehicles to back into the 10 foot public right of way where pedestrians would walk. There are no pedestrian safety measures, sidewalks, or buffer areas between the back of curb to the building. The guy wire located on Patterson Street is destroyed adjacent to the utility pole.

Given the requirements for the parking, drive aisle and offset from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way, which is dangerous to the health, safety and welfare of pedestrians. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 2) The roof leader drains water across the asphalt parking area at the rear step and across the drive aisle into the public right of way. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians, which represents a detrimental impact to the health, safety and welfare of the community.
- 3) Parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues, which is detrimental to the health, safety and welfare of the community.
- 4) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property also lacks site lighting, which creates dangerous conditions that are detrimental to the safety, health and welfare of the community.
- 5) There is an egress door at the rear of the building, which includes stairs that do not have any protective railings and does not include any lighting. The rear stair is not NJ-IBC Code compliant.
  - Stairways shall have handrails on each side and shall comply with Section 1014. (NJ-IBC1011.11 Handrails).
  - Section 1014 Where required: Handrails serving stairways, ramps, stepped aisles and ramped aisles shall be adequate in strength and attachment in accordance with Section .... (NJ-IBC 1014.1).
  - Handrails shall extend 12" horizontally beyond the top and bottom riser (NJ-IBC 1014.6 Handrail Extension).
  - IBC Code definition of a stair is one riser or more.
  - Guard rails are required where the open stair of the platform or walkway is 30" or more vertically to the floor or grade below (within 36") (NJ-IBC Section 1015.0 & 1010.5).
  - There is no requirement for handrails based on the number of steps.. , which is detrimental to the safety, health and welfare of the community. Given the lack of lighting this represents a safety issue.
- 6) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 4 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.

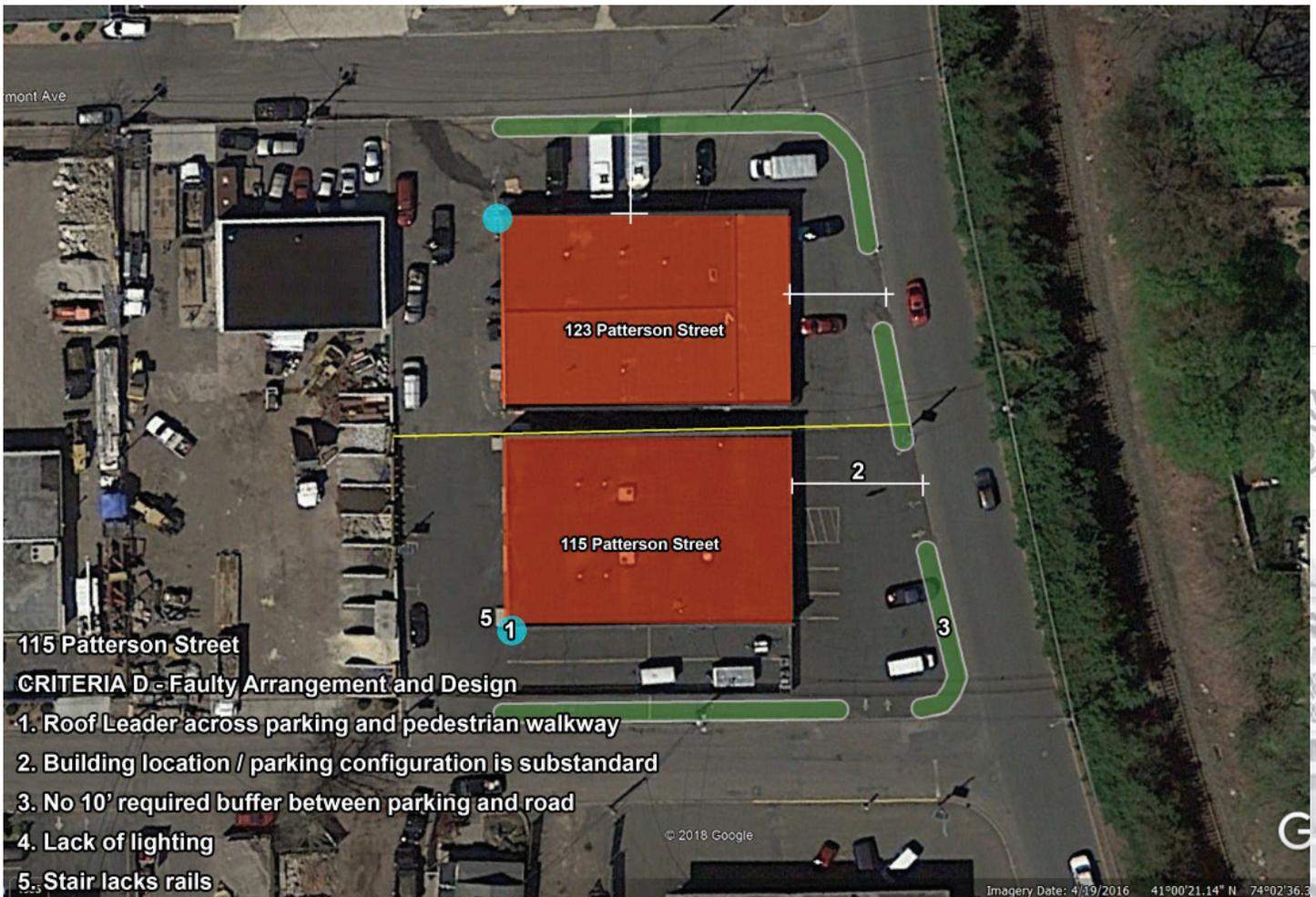


Image 1: Google Aerial Image depicting the location of the building, lack of depth between the building and Patterson Street, lack of 10 foot buffer between parking and the street, location of the roof leader drain and the location of the rear stair with the lack of handrails.



**Image 2:** Rear stairs with lack of handrails and roof leader drain.



**Image 3:** Utility pole on Patterson Street with no protective measures from asphalt parking area.



**Image 4:** Construction materials on the asphalt parking area at the rear of the building.



**Image 5:** Rear door with step. No handrails or other protective measures.



**Image 6:** Construction materials on the asphalt parking area at the rear of the building.



**Image 7:** Construction materials on the asphalt parking area at the rear of the building.



**Image 8:** Head in parking along Patterson Street with utility pole. No sidewalks, buffers or pedestrian safety measures.



**Image 9:** Side yard along Prospect Place with asphalt and grading toward the public right of way. No sidewalks, lights or other pedestrian safety measures.



**Image 10:** Parking area at the Patterson Street corner with no pedestrian safety measures.



**Image 11:** Previous guy wire destroyed and no longer attached to the utility pole.



Owner: Phillip G.  
Rodano  
700 Summit Ave.  
Hackensack, NJ 07601



**Property Use:**

Warehouse/Office

**Zone District:**

Industrial (I)

**Property Acreage:**

0.4132

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1208 Lot 5:

1. Assessment:	\$ 706,500
2. Land Value:	\$ 376,000
3. Improvement Value:	\$ 330,500

**Property Description:**

This property (123 Patterson Street) includes a one story building that is approximately 70'-0" by 104'-0" surrounded by asphalt that is used for surface parking, storage and display areas. There are multiple curb cuts along Patterson Street and a 115' long curb cut along Piermont Ave. The building is set back approximately 31 feet from Patterson Street and 30 feet from Piermont Avenue.

The property is comprised of approximately 100% impervious area with no visible storm-water management controls provided on-site. Roof leaders drain water directly onto the asphalt and across the parking areas into the public right of way specifically along the Piermont Avenue frontage.

The asphalt parking areas along Patterson Street go from the building to the back of curb, which is violation of the zoning ordinance which requires a 10 foot buffer between the parking and the back of curb. In addition, there are no sidewalks or landscape areas along either street frontage.

The fire hydrant located in the public right of way on Patterson Street has a metal guard pole, which has

been significantly damaged on the parking lot side. There is no visible site lighting in the front or side of the building facing either street.

Head-in parking is located at the front of the building along Patterson Street and along the side of the building on Piermont Avenue. The dimension between the building facade and the back of curb for both streets are not sufficient to allow vehicles to maneuver adequately within the property line, nor do they meet the standard requirements for the drive aisle width. This configuration requires vehicles to maneuver within the public right of way along both streets.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations on the property. These include a traffic violation/ motor vehicle accident and an environmental protection agency (EPA) violation for pollution. See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) The area between the building and the public streets are insufficient and do not meet all of the requirements of the Hillsdale Zoning Ordinance. (Section 310-58) This creates a dangerous condition for vehicles and pedestrians by allow vehicles to back into the public right of way along both Patterson Street and Piermont Avenue, which is detrimental to the safety, health and welfare of the community.

Asphalt parking is located from the building facade to the back of curb which violates the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). The existing dimension between the building is approximately 31'-0" from Patterson Street and 30'-0" from Piermont Avenue. In the best condition, it would leave approximately 28 feet and in the worst condition it would leave 20 feet for parking and a drive aisle based on the 10 foot setback requirement. Drive aisles for head in parking are required to be a minimum of 18 feet (Section 310.106)

The Zoning code also states an off-street spaces available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4). The remaining dimension is not sufficient for vehicles to maneuver within the property right of way which creates dangerous conditions for both pedestrians and vehicles, especially considering there are no pedestrian safety measures, sidewalks, or buffer areas between the back of curb to the building.

Given the requirements for the parking, drive aisle and offset from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back

into the public right of way, which is dangerous to the health, safety and welfare of pedestrians. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 2) Parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues, which is detrimental to the health, safety and welfare of the community.
- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As indicated this property lacks adequate lighting which represents a dangerous condition to the health, safety and welfare of the community.
- 4) The roof leader drains water across the asphalt parking area at the rear step and across the drive aisle into the public right of way. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians, which represents a detrimental impact to the health, safety and welfare of the community;
- 5) Egress doors at the rear of the building, do not include safety lighting and open directly on to the asphalt without any area of refuse or other safety measures. This condition coupled with the lack of lighting creates a dangerous condition that is detrimental to the safety, health and welfare of the community.
- 6) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1208 Lot 5 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



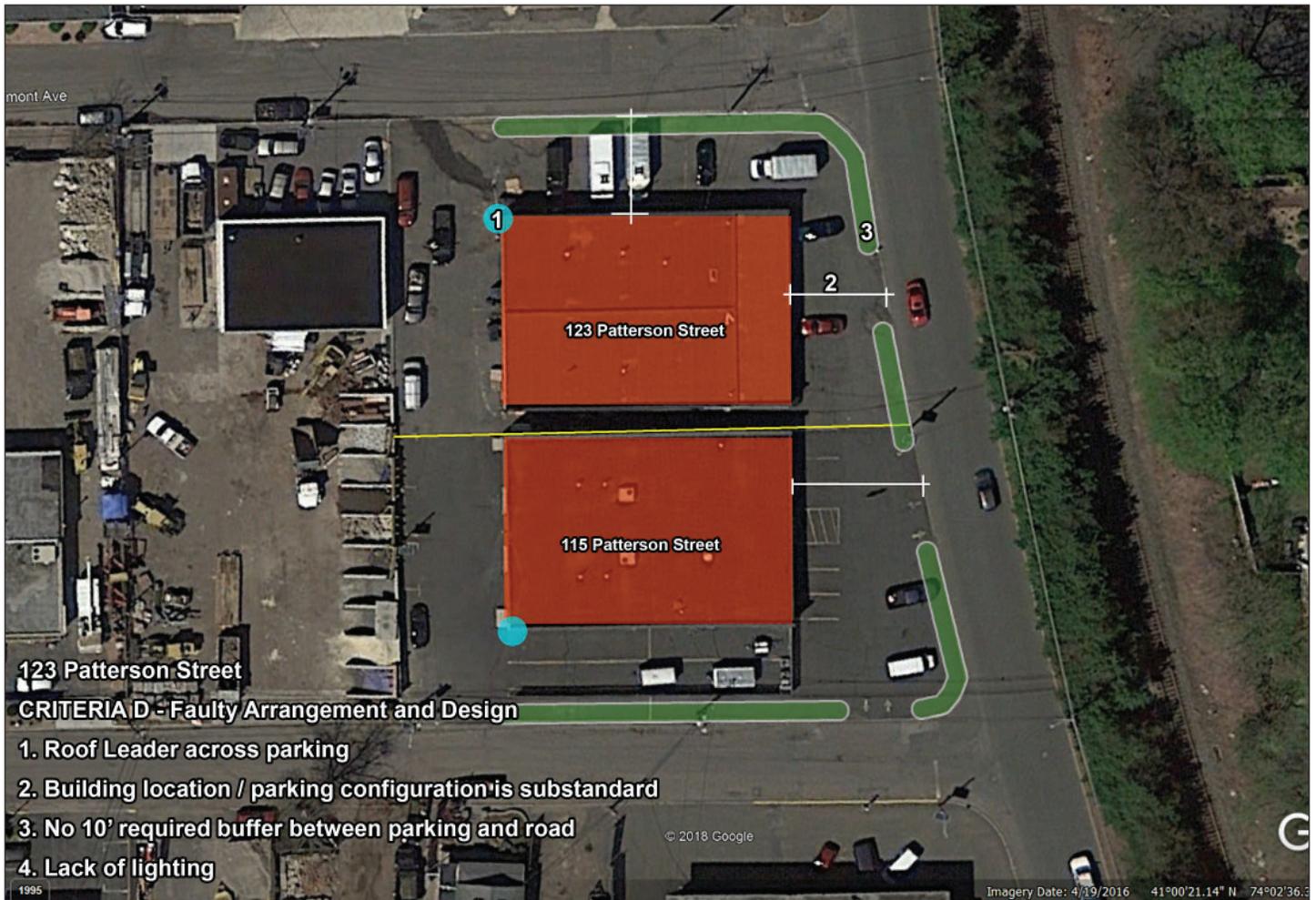


Image 4: Google Aerial Map depicting the location of a roof leader drain, lack of dimension between the building and the back of curb, and a lack of the 10 foot required buffer along the street frontages.



Image 5: Commercial vehicles parked head in along Piermont Avenue within the public right of way.



Image 6: Parking area along Patterson Street with vehicles in the public right of way. No sidewalks or pedestrian safety measures. Damage to bollard protecting the fire hydrant.



**Image 7:** Roof leader draining across asphalt area into the public right of way into Piermont Avenue.



**Image 8:** Parking area along Piermont Avenue with vehicles in the public right of way. No sidewalks or pedestrian safety measures.



**Image 9:** Sediment and gravel from the property into the public right of way.



**Image 10:** Roof drain on to asphalt with gravel and sediment.



**Image 11:** Sediment and gravel from the property into the public right of way.



**Image 12:** Drainage toward Patterson Street with deterioration of asphalt and sediment.



**Image 13:** Head in parking along Patterson Street with hydrant in the background.



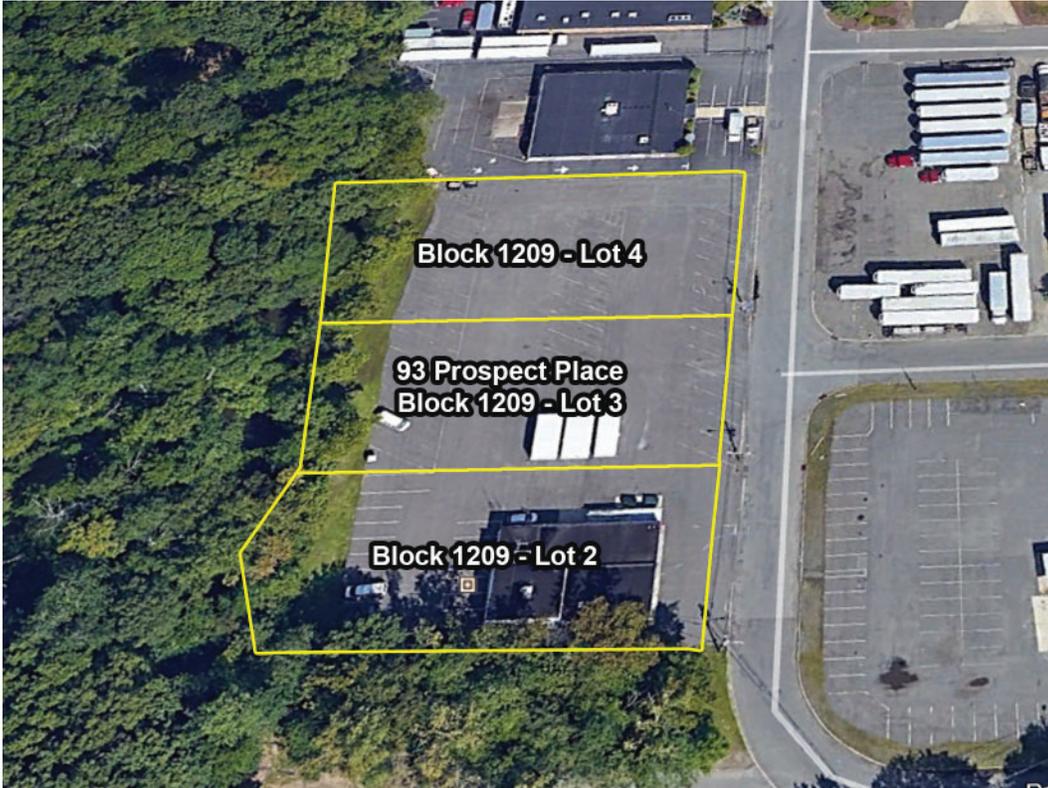
**Image 14:** Asphalt parking between the building to the back of curb with no sidewalk, lighting or other pedestrian safety measures.



**Image 15:** Head in parking along Piermont Avenue located in the public right of way. No sidewalks, lighting or pedestrian safety measures.



**Image 16:** Asphalt parking with water draining into the public right of way.



Jack Ely Real Estate LLC  
93 Prospect Pl.  
Hillsdale, NJ 07642

**Property Use:**  
Surface Parking

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.5354

**Permitted Use:**  
No

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1209 Lot 2:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 599,600 |
| 2. Land Value:        | \$ 420,000 |
| 3. Improvement Value: | \$ 179,600 |

**Property Description:**

This property (93 Prospect Pace) includes a one story building with three bay roll up garage doors facing Prospect Place. The building is situated on the most southern of three contiguous lots owned by the same entity that function as a single property. Access to the building was requested but was not granted.

The property is comprised of a significant percentage of impervious area, including an asphalt parking lot that surrounds the one story building. The roof leader from the building drains in front of the building across the entrance and into the public right of way. The property backs onto the stream in the rear, which is classified as a C-1 Waterway, which would require a 300 foot buffer for new development.

The portion of the property that slopes toward the street includes areas at the curb-line with damage to the asphalt in the street. This condition is most likely caused by freeze / thaw over time due to the fact water from the property runs across the asphalt lot and into the public right of way without any control measures.

The remaining two lots are comprised of asphalt parking from the back of curb through the majority of the property at the rear. A significant portion of the parking lot in Lots 3 and 4 have been fenced with a six foot chain linked fence. The area within the fence is being used for outdoor storage of equipment and construction materials. Additional equipment and construction materials are being stored in the remaining portion of the parking lot closest to Prospect Place. There are no safety measures or areas delineated for these lay down areas. In addition, the property has no site lighting for either Lot 3 or 4.

Rusting of metal materials within the fenced area was noted and observed during several site visits. No run off control measures were observed at the rear portion of the fenced area to prevent run-off from entering the stream.

The property does not include the required 10 foot buffer between parking and the back of curb per the zoning ordinance. In addition, there are no sidewalks, or landscape areas along the street frontage. The asphalt parking is delineated in the right of way and goes to the back of a flush drop curb along Prospect Street. This condition allow vehicles to exit the parking lot along the vast majority of the length of the properties without any access management controls. There are multiple utility poles located in the parking area along the curb-line with no barriers.

The property slopes from the building towards Prospect Place and drains directly on to the public right of way, causing a safety issue. In addition, this can cause safety concerns during rain and freezing events and create freeze and thaw issues by damaging the existing parking lot.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

#### **Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) The roof leader drains water across the asphalt parking areas at the entrance and into the public right of way. This represents a faulty arrangement and design that is a dangerous condition. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians.
- 2) Parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues, which is detrimental to the health, safety and welfare of the community.

3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community. This is especially true given the property is being used for the storage of equipment and construction materials.

Based on Section 310-117, "Outside storage, when permitted, shall only be permitted in specific areas approved by the Board. Such areas shall, as nearly as may be practicable, be shielded from public view and protected by adequate fencing or screening". Based on visual inspections of the site over several months a large portion of the stored materials are in plain site located on the asphalt parking lot in areas that are not screened or delineated.

4) Asphalt parking is located to the back of curb on all three properties. This is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the properties include a drop curb, it allows vehicles to pull directly into Prospect Place from the parking space. This creates a lack of access management within the parking areas. Given the lack of adequate on-site lighting, the lack of pedestrian safety measures, the lack of a 10 foot buffer and the ability for vehicles to access the street from the parking spaces for the vast majority of the length of the property this represents a faulty arrangement and design that creates safety issues which is detrimental to the health, safety and welfare of the community.

5) The property includes a large area with construction and other materials sectioned off with chain linked fencing that is located on the asphalt / gravel lot. The lot grades toward the street and toward the stream in the rear and there are no storm water measures located on the site.

Section 310-107 Storm water Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted. It is unclear as to whether or not any of the materials that are being stored on the site would negatively impact the storm water run-off.

6) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.

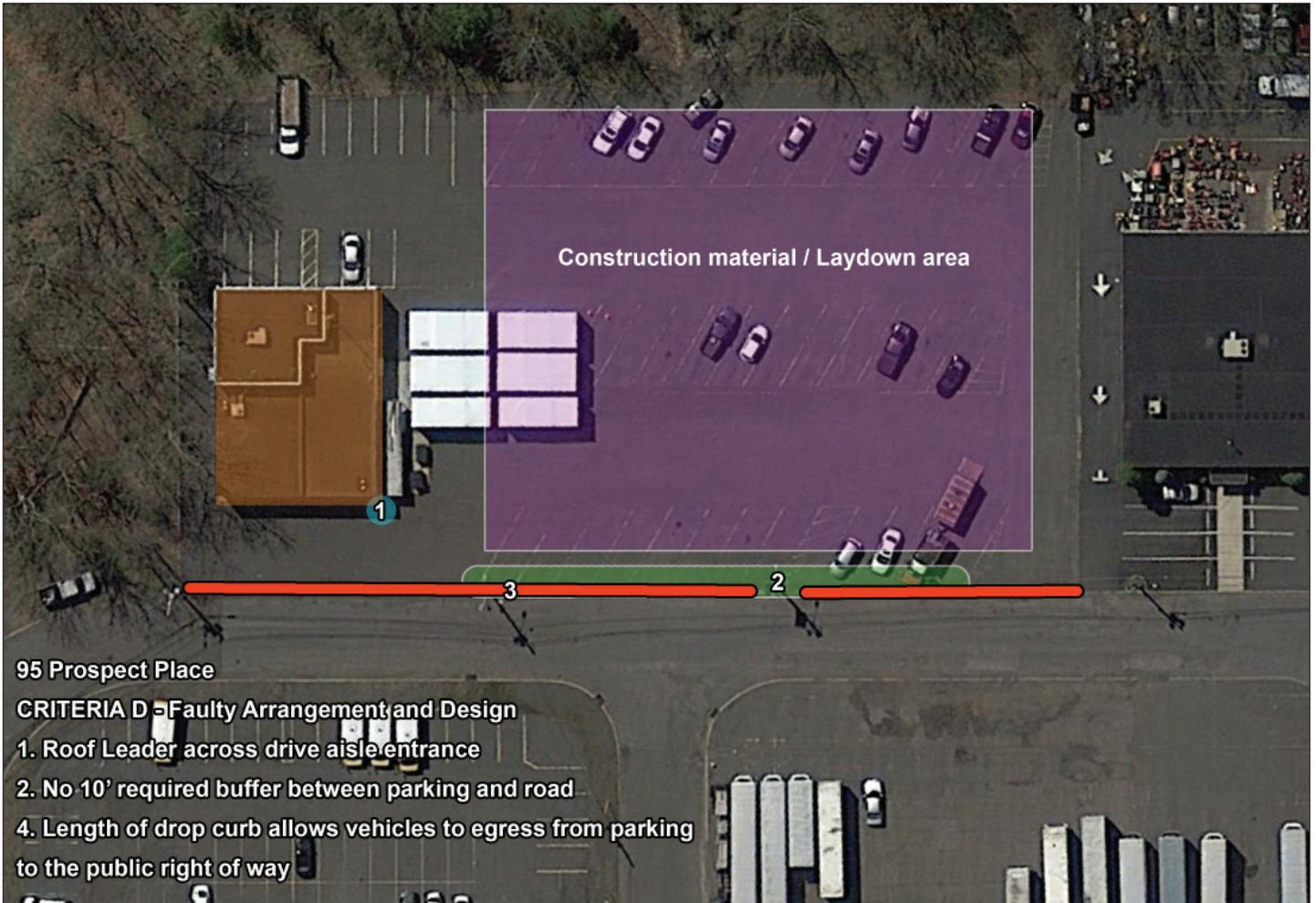


Image 1: Google Aerial Map depicting roof leader drain location, drop curb location along Prospect Place, lack of 10 foot buffer and area where construction material is being stored on site.



Image 2: Street view from Prospect Place depicting roof leader drain at the front vehicular access and pedestrian area.



Image 3: Street view from Prospect Place depicting drop curb in front of the building and grade change from the property to the street.

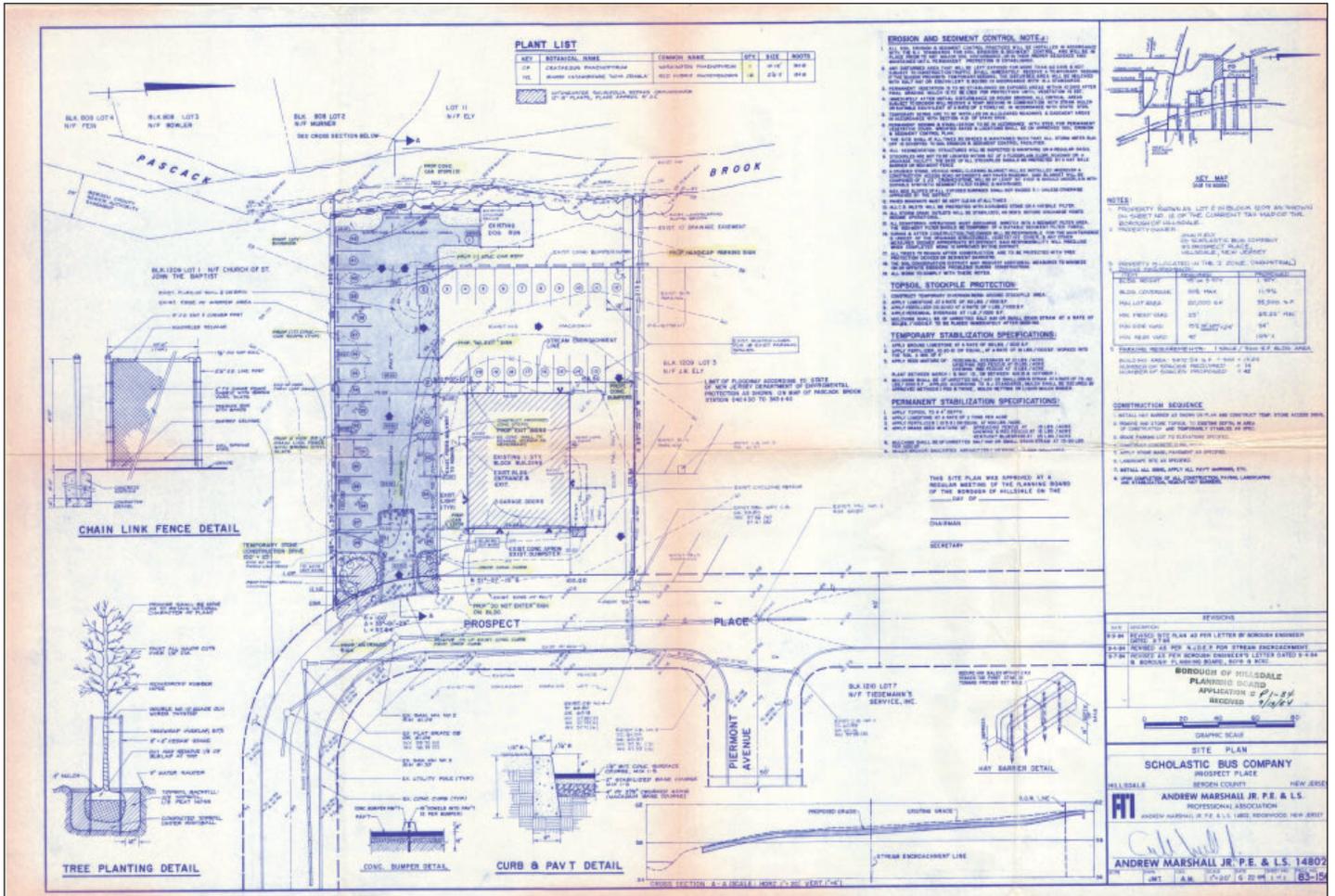
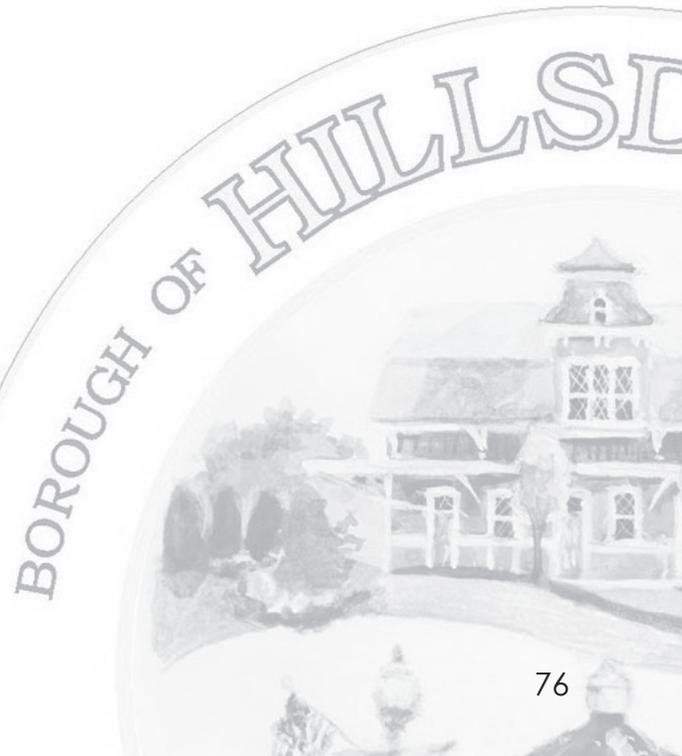
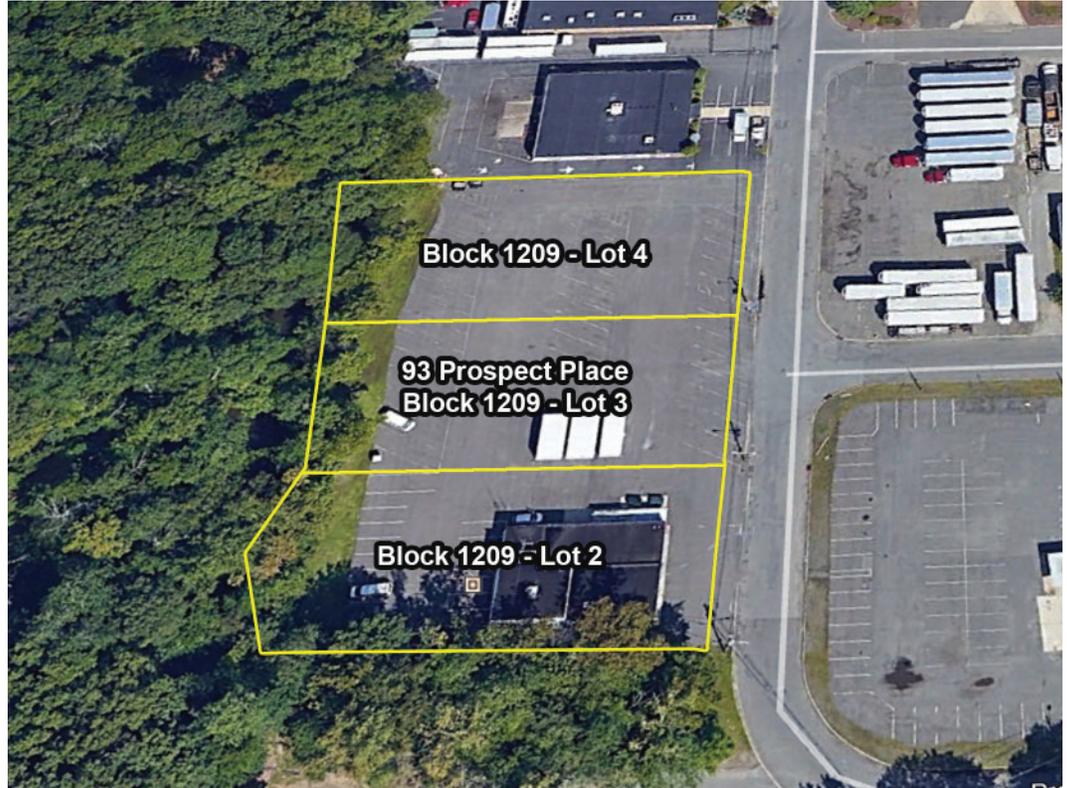


Image 4: Site Plan approval Building Department records.



Jack Ely Real Estate LLC  
93 Prospect Pl.  
Hillsdale, NJ 07642



**Property Use:**  
Surface Parking

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.5086

**Permitted Use:**  
No

**Property Value:**  
According to the Borough of Hillsdale the assessed value for Block 1209 Lot 3:

1. Assessment:	\$ 309,600
2. Land Value:	\$ 294,000
3. Improvement Value:	\$ 15,600

**Property Description:**

This property (93 Prospect Place) includes a one story building with three bay roll up garage doors facing Prospect Place. The building is situated on the most southern of three contiguous lots owned by the same entity that function as a single property. Access to the building was requested but was not granted.

The property is comprised of a significant percentage of impervious area, including an asphalt parking lot that surrounds the one story building. The roof leader from the building drains in front of the building across the entrance and into the public right of way. The property backs onto the stream in the rear, which is classified as a C-1 Waterway, which would require a 300 foot buffer for new development.

The portion of the property that slopes toward the street includes areas at the curb-line with damage to the asphalt in the street. This condition is most likely caused by freeze / thaw over time due to the fact water from the property runs across the asphalt lot and into the public right of way without any control measures.

The remaining two lots are comprised of asphalt parking from the back of curb through the majority of the property at the rear. A significant portion of the parking lot in Lots 3 and 4 have been fenced with a six foot chain linked fence. The area within the fence is being used for outdoor storage of equipment and construction materials. Additional equipment and construction materials are being stored in the remaining portion of the parking lot closest to Prospect Place. There are no safety measures or areas delineated for these lay down areas. In addition, the property has no site lighting for either Lot 3 or 4.

Rusting of metal materials within the fenced area was noted and observed during several site visits. No run off control measures were observed at the rear portion of the fenced area to prevent run-off from entering the stream.

The property does not include the required 10 foot buffer between parking and the back of curb per the zoning ordinance. In addition, there are no sidewalks, or landscape areas along the street frontage. The asphalt parking is delineated in the right of way and goes to the back of a flush drop curb along Prospect Street. This condition allow vehicles to exit the parking lot along the vast majority of the length of the properties without any access management controls. There are multiple utility poles located in the parking area along the curb-line with no barriers.

The property slopes from the building towards Prospect Place and drains directly on to the public right of way, causing a safety issue. In addition, this can cause safety concerns during rain and freezing events and create freeze and thaw issues by damaging the existing parking lot.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

#### **Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

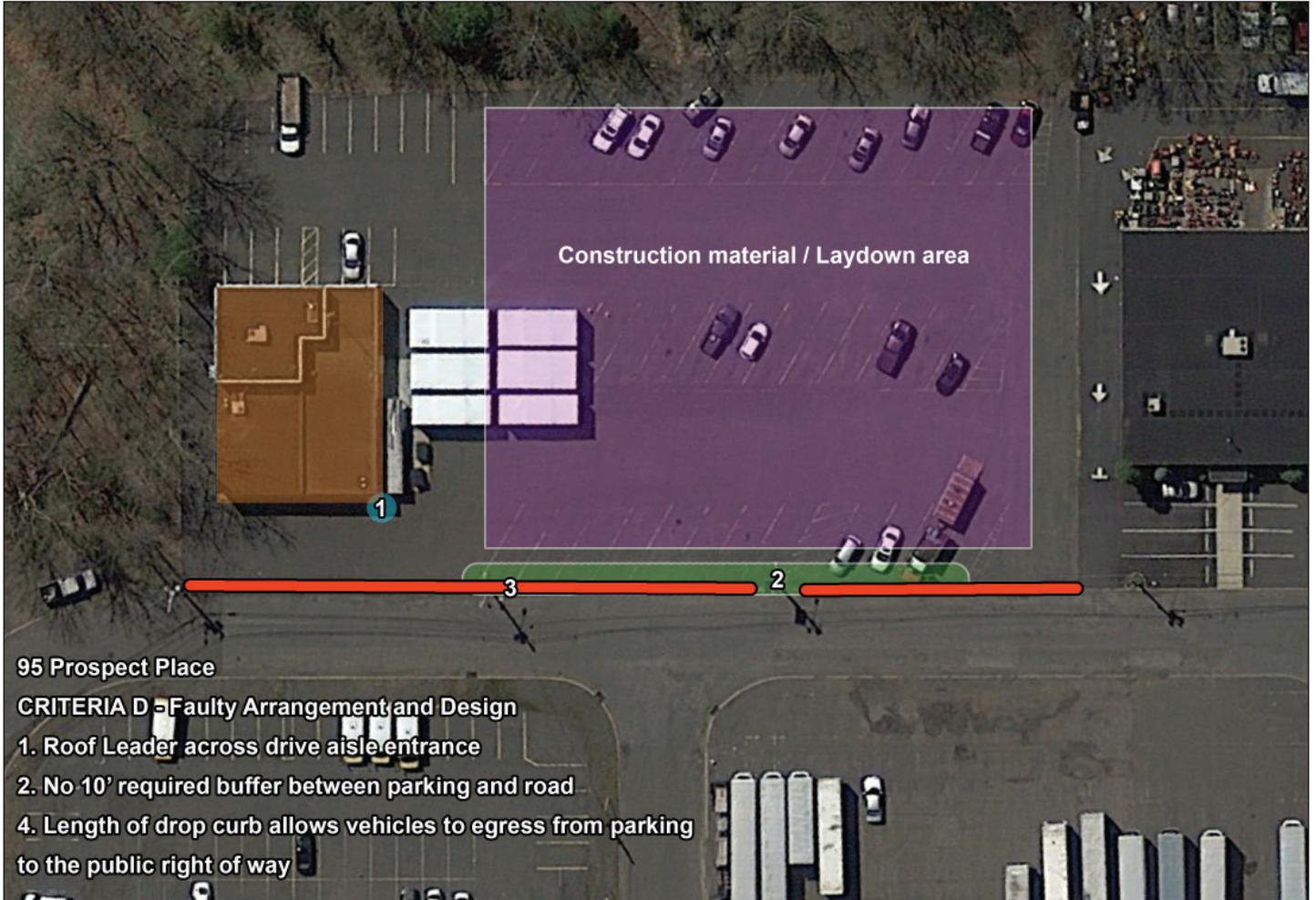
- 1) The roof leader drains water across the asphalt parking areas at the entrance and into the public right of way. This represents a faulty arrangement and design that is a dangerous condition. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians.
- 2) Parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues, which is detrimental to

the health, safety and welfare of the community.

- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community. This is especially true given the property is being used for the storage of equipment and construction materials. Based on Section 310-117, "Outside storage, when permitted, shall only be permitted in specific areas approved by the Board. Such areas shall, as nearly as may be practicable, be shielded from public view and protected by adequate fencing or screening". Based on visual inspections of the site over several months a large portion of the stored materials are in plain site located on the asphalt parking lot in areas that are not screened or delineated.
- 4) Asphalt parking is located to the back of curb on all three properties. This is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the properties include a drop curb, it allows vehicles to pull directly into Prospect Place from the parking space. This creates a lack of access management within the parking areas. Given the lack of adequate on-site lighting, the lack of pedestrian safety measures, the lack of a 10 foot buffer and the ability for vehicles to access the street from the parking spaces for the vast majority of the length of the property this represents a faulty arrangement and design that creates safety issues which is detrimental to the health, safety and welfare of the community.
- 5) The property includes a large area with construction and other materials sectioned off with chain linked fencing that is located on the asphalt / gravel lot. The lot grades toward the street and toward the stream in the rear and there are no storm water measures located on the site.  
  
Section 310-107 Storm water Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted. It is unclear as to whether or not any of the materials that are being stored on the site would negatively impact the storm water run-off.
- 6) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Google Aerial Map depicting roof leader drain location, drop curb location along Prospect Place, lack of 10 foot buffer and area where construction material is being stored on site.



**Image 2:** Street view from Prospect Place depicting lay down area for construction equipment and materials, parking to the back of curb and lack of lighting.



**Image 3:** Street view from Prospect Place depicting lay down area for construction equipment and materials and drop curb.

Jack Ely Real Estate LLC  
95 Prospect Pl.  
Hillsdale, NJ 07642



**Property Use:**  
Surface Parking

**Zone District:**  
Industrial (I)

**Property Acreage:**  
.5014

**Permitted Use:**  
Yes

**Property Value:**  
According to the Borough of Hillsdale the assessed value for Block 1209 Lot 4 is:

1. Assessment:	\$ 314,700
2. Land Value:	\$ 299,600
3. Improvement Value:	\$ 15,100

**Property Description:**

This property (93 Prospect Place) includes a one story building with three bay roll up garage doors facing Prospect Place. The building is situated on the most southern of three contiguous lots owned by the same entity that function as a single property. Access to the building was requested but was not granted.

The property is comprised of a significant percentage of impervious area, including an asphalt parking lot that surrounds the one story building. The roof leader from the building drains in front of the building across the entrance and into the public right of way. The property backs onto the stream in the rear, which is classified as a C-1 Waterway, which would require a 300 foot buffer for new development.

The portion of the property that slopes toward the street includes areas at the curb-line with damage to the asphalt in the street. This condition is most likely caused by freeze / thaw over time due to the fact water from the property runs across the asphalt lot and into the public right of way without any control measures.

The remaining two lots are comprised of asphalt parking from the back of curb through the majority of the property at the rear. A significant portion of the parking lot in Lots 3 and 4 have been fenced with a six foot chain linked fence. The area within the fence is being used for outdoor storage of equipment and construction materials. Additional equipment and construction materials are being stored in the remaining portion of the parking lot closest to Prospect Place. There are no safety measures or areas delineated for these lay down areas. In addition, the property has no site lighting for either Lot 3 or 4.

Rusting of metal materials within the fenced area was noted and observed during several site visits. No run off control measures were observed at the rear portion of the fenced area to prevent run-off from entering the stream.

The property does not include the required 10 foot buffer between parking and the back of curb per the zoning ordinance. In addition, there are no sidewalks, or landscape areas along the street frontage. The asphalt parking is delineated in the right of way and goes to the back of a flush drop curb along Prospect Street. This condition allow vehicles to exit the parking lot along the vast majority of the length of the properties without any access management controls. There are multiple utility poles located in the parking area along the curb-line with no barriers.

The property slopes from the building towards Prospect Place and drains directly on to the public right of way, causing a safety issue. In addition, this can cause safety concerns during rain and freezing events and create freeze and thaw issues by damaging the existing parking lot.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

#### **Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

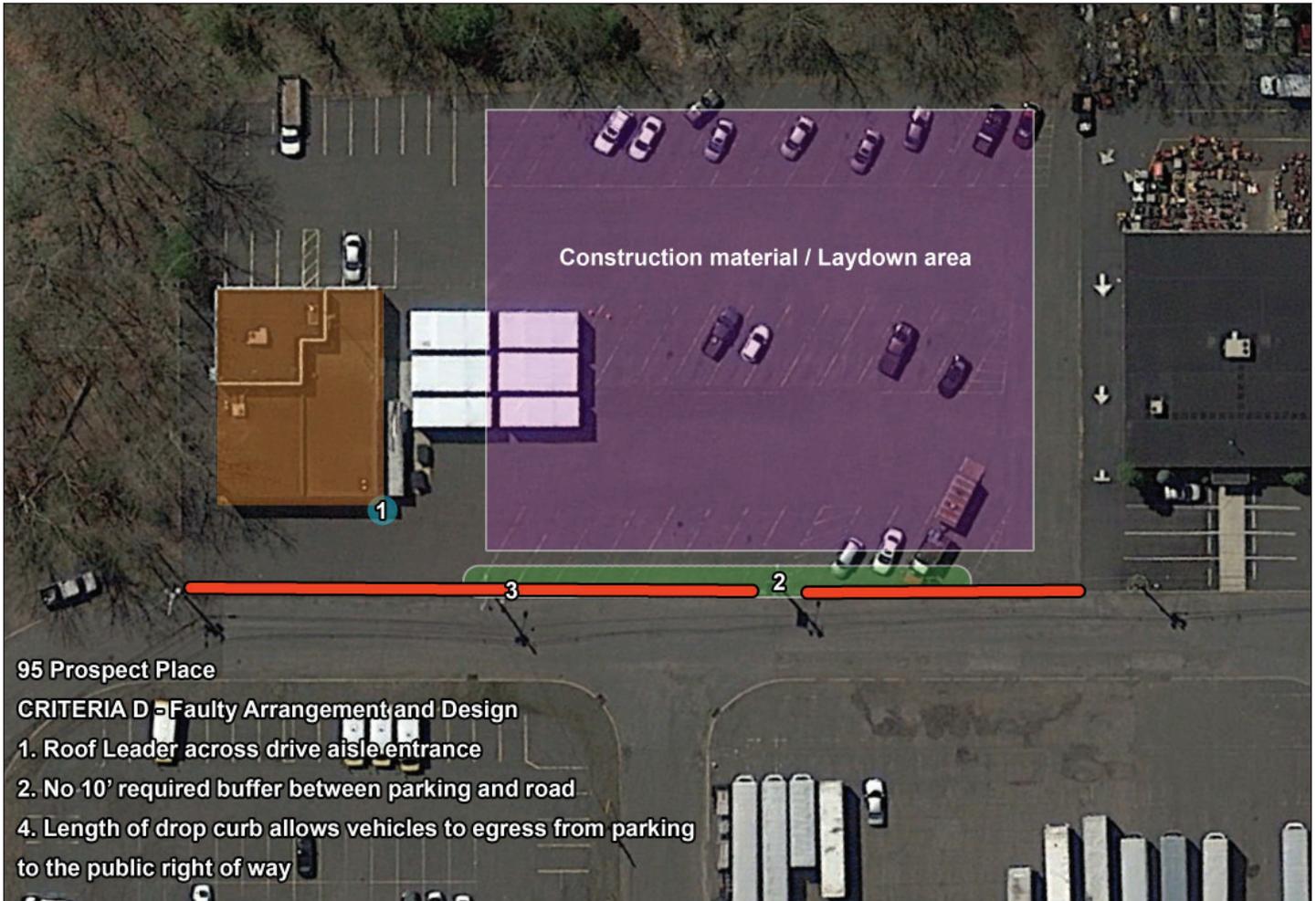
The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) The roof leader drains water across the asphalt parking areas at the entrance and into the public right of way. This represents a faulty arrangement and design that is a dangerous condition. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians.
- 2) Parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues, which is detrimental to the health, safety and welfare of the community.

- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community. This is especially true given the property is being used for the storage of equipment and construction materials. Based on Section 310-117, "Outside storage, when permitted, shall only be permitted in specific areas approved by the Board. Such areas shall, as nearly as may be practicable, be shielded from public view and protected by adequate fencing or screening". Based on visual inspections of the site over several months a large portion of the stored materials are in plain site located on the asphalt parking lot in areas that are not screened or delineated.
- 4) Asphalt parking is located to the back of curb on all three properties. This is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the properties include a drop curb, it allows vehicles to pull directly into Prospect Place from the parking space. This creates a lack of access management within the parking areas. Given the lack of adequate on-site lighting, the lack of pedestrian safety measures, the lack of a 10 foot buffer and the ability for vehicles to access the street from the parking spaces for the vast majority of the length of the property this represents a faulty arrangement and design that creates safety issues which is detrimental to the health, safety and welfare of the community.
- 5) The property includes a large area with construction and other materials sectioned off with chain linked fencing that is located on the asphalt / gravel lot. The lot grades toward the street and toward the stream in the rear and there are no storm water measures located on the site.  
  
Section 310-107 Storm water Management, includes requirements for Major Developments (over 1 acre in size). Although the requirements of this section are not mandated on this property given that it is less than 1 acre and is not an application, the concerns and requirements for commercial and industrial uses remain a health, safety and welfare concern as noted. It is unclear as to whether or not any of the materials that are being stored on the site would negatively impact the storm water run-off.
- 6) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 2 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Google Aerial Map depicting roof leader drain location, drop curb location along Prospect Place, lack of 10 foot buffer and area where construction material is being stored on site.



**Image 2:** Street view from Prospect Place depicting parking with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



**Image 3:** Street view from Prospect Place depicting parking with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



**Image 4:** Garage doors with asphalt parking. Drainage toward the public right of way. Drop curb along the front of the property.



**Image 5:** Side of building with overhang.



**Image 6:** Rear portion of the building with grades toward the rear of the property. No storm water management control measures.



**Image 7:** Rear portion of the building with grades toward the rear of the property. No storm water management control measures.



**Image 8:** Rear parking area draining toward the C-1 Waterway with no storm-water control measures.



**Image 9:** Side of the building with asphalt parking.



**Image 10:** Building and parking with fence in the asphalt parking area.



**Image 11:** Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



**Image 12:** Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



**Image 13:** Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



**Image 14:** Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



**Image 15:** Construction materials fenced within the parking area. Grades drain water toward the stream in the rear with no visible storm water control measures.



**Image 16:** Parking along Prospect Place with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.

**Image 17:** Parking along Prospect Place with drop curb to allow vehicles to exit directly onto the street. No sidewalks, lighting or protective measures for the utility pole or pedestrians.



**C1 Waterway Classification:** Buffers are vegetated areas adjacent to waterways that provide protection to New Jersey's water quality. These special areas are established and protected through various rules and may vary in width. A 300 foot or Category One (C1) buffer is required by the Stormwater Management (NJAC 7:8) and the Flood Hazard Area Control Act rules (FHACA) at NJAC 7:13, for certain activities proposed adjacent to waters designated in the Surface Water Quality Standards (NJAC 7:9B) as C1 or their upstream tributaries in the same sub-watershed.



Pana Associates LLC  
107 Prospect Pl.  
Hillsdale, NJ 07642

**Property Use:**  
Commercial

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.4913

**Permitted Use:**  
Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1209 Lot 5:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 623,200 |
| 2. Land Value:        | \$ 428,000 |
| 3. Improvement Value: | \$ 195,200 |

**Property Description:**

This property (107 Prospect Place) includes a one story building approximately 72 feet wide by 82 feet deep. The building is currently being used as an office and store for Durie Lawnmower. There are two curb cuts along the frontage on Prospect Place that are used as a one way entrance and exit. The building is set back approximately 45 feet from Prospect Place and has 8 parking spaces, six of which appear to be within the property with the remaining two are located in the public right of way along Prospect Place. There is no buffer or sidewalk between the parking and public right of way, however the parking configuration allows vehicles to maneuver within the property without going into the public right of way.

The property is predominantly impervious, and includes a one way drive into the rear of the building at the north side and a one way drive to Prospect Place along the south side of the building. There are two roof leader drains along the south and west side of the building. These roof leaders drain across the egress drive at the south side of the building. There is one utility pole located along the street frontage that

includes a six inch curb to protect it from vehicles. The property drains away from the building and in the rear drains toward the existing stream. The property includes lighting on the building along all four sides.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria "d" of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d", which include:

- 1) The roof leaders drain water across the asphalt drive aisles, specifically the egress drive located on the south side of the building. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles which represents a detrimental impact to the health, safety and welfare of the community;
- 2) Asphalt parking is located to the back of curb which is in violation of the zoning ordinance which states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). Given the lack of adequate on-site lighting, the lack of pedestrian safety measures and the lack of the required 10 foot buffer this represents a faulty arrangement and design that creates safety issues which is detrimental to the health, safety and welfare of the community. Although vehicles can back out of the spaces without entering the street, this condition requires pedestrians to walk in the street along the frontage of this property which is a detrimental impact to the health, safety and welfare of the community.
- 3) The "other" condition that is detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition can exacerbate flooding in the area as well as potentially overwhelming the existing storm water system.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 5 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Front facade along Prospect Place with landscape and parking.



Image 2: Roof leader drain at the south side of the building across the egress drive.



Image 3: Roof leader drain at the west side of the building across the egress drive.



Image 4: Front facade along Prospect Place with landscape and parking.



Image 5: Front facade along Prospect Place with landscape and parking.



Image 6: Front facade along Prospect Place with landscape and parking.



Image 7: Front facade along Prospect Place with landscape and parking.

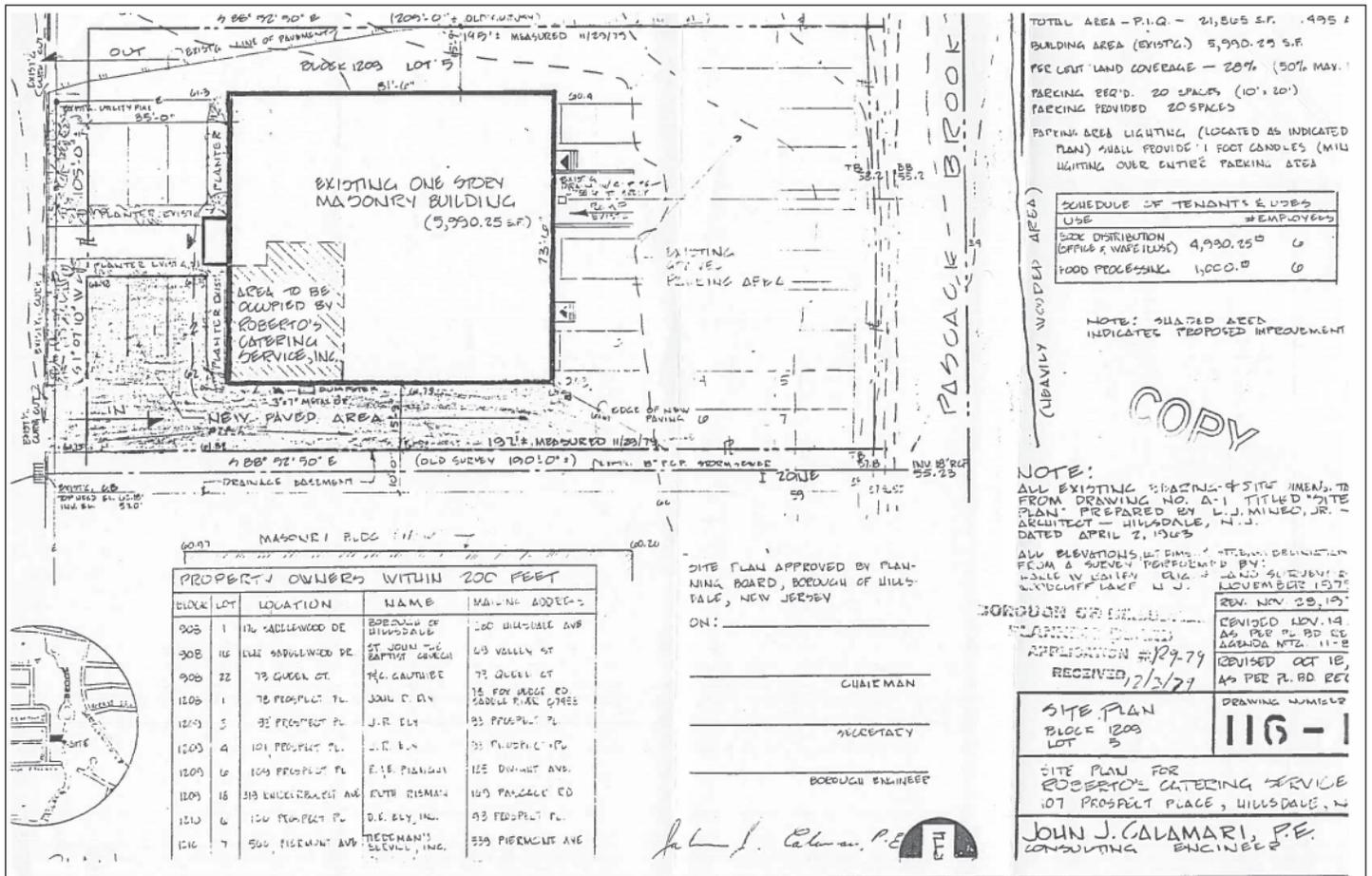


Image 8: Site Plan from Building Department Records.



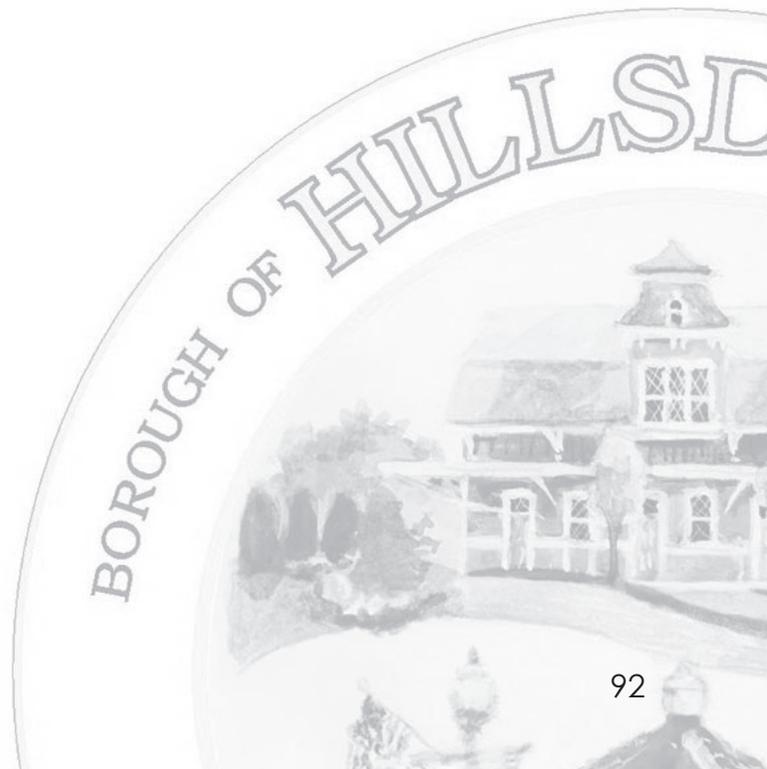
Image 9: Rear parking area with designated parking.



Image 10: Rear parking area with designated parking.



Image 11: South elevation with roof leader drain across egress drive.



TCM Realty LLC  
109 Prospect Pl.  
Hillsdale, NJ 07642



**Property Use:**  
Light Industrial

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.7165

**Permitted Use:**  
Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1209 Lot 6:

1. Assessment:	\$ 902,000
2. Land Value:	\$ 498,800
3. Improvement Value:	\$ 403,200

**Property Description:**

This property (109 Prospect Place) includes a one story building with two garage bays that are used for large semi-truck loading and unloading off Prospect Place. The building is setback approximately 33 feet from Prospect Place and has two one way driveways on either side of the building that are approximately 12 feet in width to allow access to the rear portion of the property. The north access drive includes a concrete pad with an HVAC unit and protective bollard as well as the roll out trash bin. This impediment further reduces the driveway width for access to the rear portion of the building. No site lighting was observed on the property. Lighting is provided on the building facade.

During multiple site visits large trucks were observed along the southern side and rear portions of the property. In addition, large sixteen wheeler delivery beds were located in the center loading dock. These delivery beds were parked in the public right of way and did not include the truck cab. The depth of the loading dock would require trucks to reverse into the loading areas within the public right of way as depicted in the attached images. In addition, during delivery the truck cab would be located in

the public street in such a manner as to block a portion of the road. The length and duration of this impediment to the public right of way is not known.

There are numerous traffic violations, motor vehicles accidents, noise and odor complaints as well as a municipal ordinance violation, as reflected in the records provided within this document.

The lot is predominantly comprised of impervious area but does include landscape areas along the front of the building. There are no sidewalks along the street frontage and the grades along the rear of the building drain run-off toward the C1 waterway in the rear.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations and complaints on the property. These include even (7) traffic violation/ motor vehicle accident, nine (9) noise/odor complaints and one (1) municipal ordinance violation. See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement and obsolete layout are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout and other conditions as described in Criterion "d", include:

- 1) Per Section 210-60, "Access to truck standing, loading and unloading space shall be provided directly from a public street or alley or from any right-of-way that will not interfere with public convenience and will permit orderly and safe movement of truck vehicles". During several site visits, commercial trucks were observed backing out of the property into the public right of way. This condition creates conflicts with other vehicles within the public right of way, which is detrimental to the safety, health and welfare of the community, as evidenced by the number of violations associated with this property according to the Borough's records. Violations include municipal ordinances, sanitation codes, accidents and noise complaints.
- 2) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1209 Lot 6 be designated as an area in need of redevelopment

based on a faulty arrangement, obsolete layout and other conditions as outlined in this report. Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Series of photographs depicting an 18 wheeler backing into the property from Prospect Place during business hours.



Image 2: Truck cab parked in the public right of way during a delivery.



Image 3: Loading dock with truck beds in the public right of way



Image 4: Side yard south of the building along Prospect Place.



Image 5: Loading dock with truck beds in the public right of way



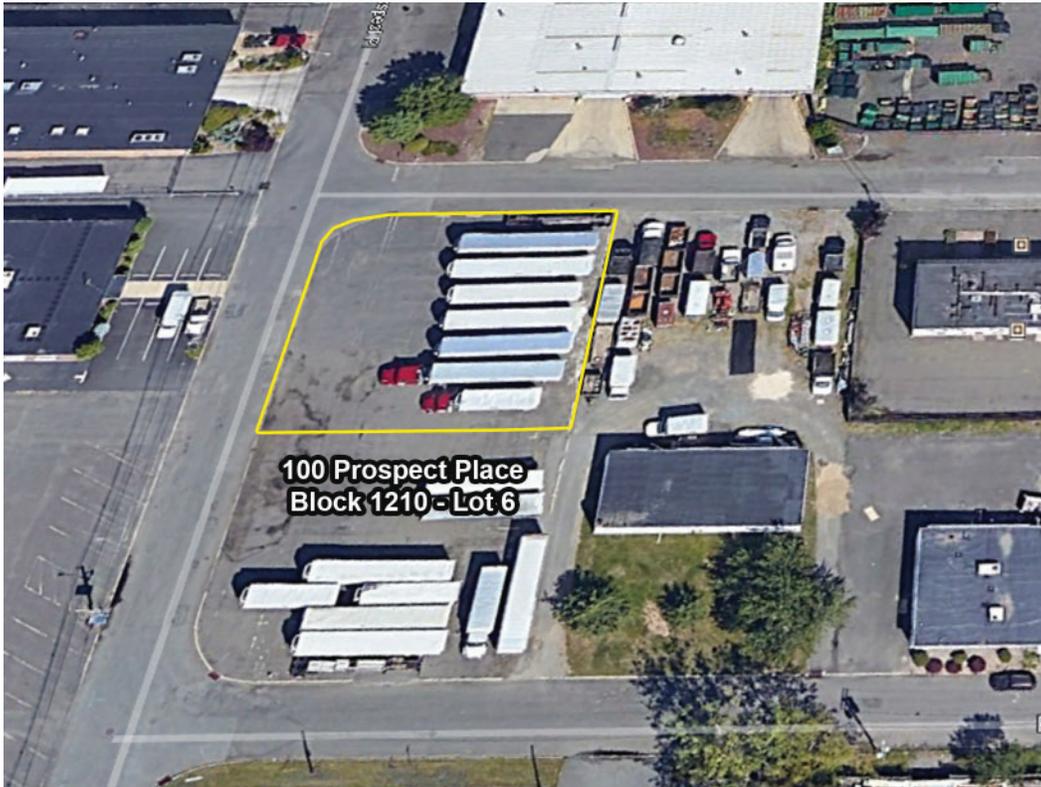
Image 6: Loading dock with truck beds in the public right of way



Image 7: Loading dock at the front of the building which requires trucks to back into the public right of way and block the street during loading and unloading.



**Image 8:** Side yard south of the building along Prospect Place.



Owner: TCM Rity LLC  
109 Prospect Place  
Hillsdale, NJ 07642

**Property Use:**  
Surface Parking

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.2365

**Permitted Use:**  
No

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 6:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 162,300 |
| 2. Land Value:        | \$ 154,500 |
| 3. Improvement Value: | \$ 7,800   |

**Property Description:**

This property (100 Prospect Place) is a 100% impervious surface parking lot located on the corner of Prospect Place and Brookside Place and is approximately 103 feet by 100 feet. The asphalt parking goes to the back of curb which violates the zoning ordinance that requires a minimum 10 setback between parking and the back of curb. In addition the property has no sidewalks, buffers, landscape areas, lighting (either internal or at the street) or storm-water control measures and the site is located within the 300 foot C1 Waterway buffer.

There is a drop curb located on the majority of the length of Prospect Place which creates access management issues. The property is currently used as a parking area. The asphalt at the drive entrances have been damaged most likely caused by the weight of tractor trailer parking and from rain run-off couple with thaw / freeze conditions at these locations. During multiple site visits commercial truck, trailers, and non commercial vehicles were parked within the public right of way adjacent to the existing curbs.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The lot includes asphalt parking to the back of curb, which violates the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which states, "Parking areas shall not be closer than 10 feet from any street line". This creates a dangerous condition by having vehicles parked in the public right of way with no sidewalks, buffers or any other pedestrian safety measures, which is detrimental to the safety, health and welfare of the community.
- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area." As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.
- 3) The other conditions that are detrimental to the health safety and welfare include the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.
- 4) In addition, there is a lack of access management given asphalt is located up to the existing curb, which allows vehicles to enter and exit the property along it's entire length. This condition represents a faulty arrangement and design that is dangerous to the health, safety and welfare of other vehicles in the public right of way. This is further exacerbated by the lack of lighting on the property.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 6 be designated as an area in need of redevelopment

based on a faulty arrangement, obsolete layout and other conditions as outlined in this report. Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.

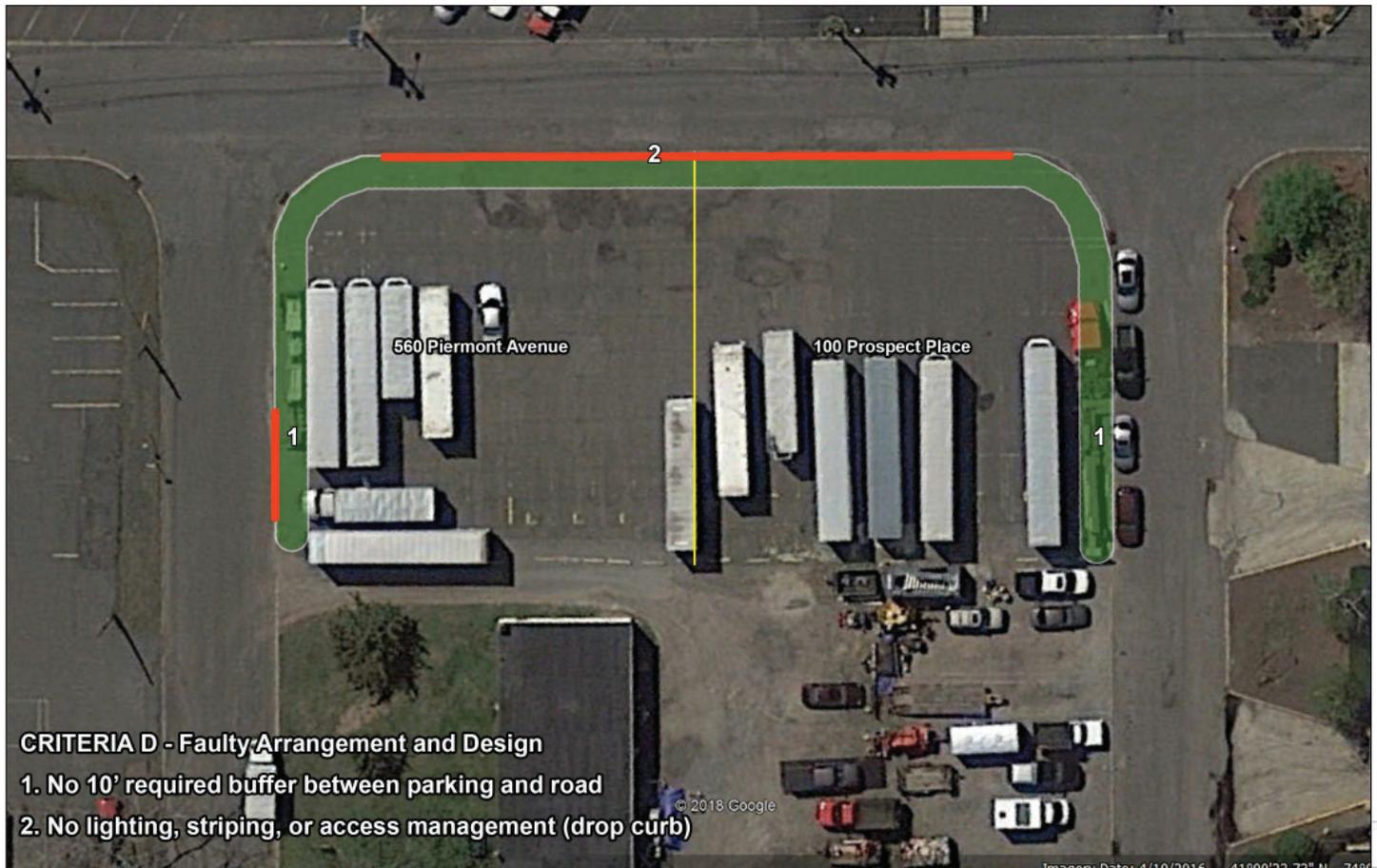


Image 1: Google Aerial Map depicting impervious parking area with no sidewalks, lighting, pedestrian safety measures and the drop curb locations.



Image 2: Street view depicting impervious area with drop curb, lack of lighting, striping, sidewalks and access management.



Image 3: Street view depicting vehicles parked in the public right of way, lack of required 10-foot buffer, lack of light and other pedestrian safety measures.



**Image 4:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping and access management.



**Image 5:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping and access management.



**Image 6:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping and access management.



**Image 7:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping, protection for the fire hydrant and access management.



**Property Use:**  
Surface Parking

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.2296

**Permitted Use:**  
Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 7:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 157,800 |
| 2. Land Value:        | \$ 150,000 |
| 3. Improvement Value: | \$ 7,800   |

**Property Description:**

This property (100 Prospect Place) is a 100% impervious surface parking lot located on the corner of Prospect Place and Brookside Place and is approximately 103 feet by 100 feet. The asphalt parking goes to the back of curb which violates the zoning ordinance that requires a minimum 10 setback between parking and the back of curb. In addition the property has no sidewalks, buffers, landscape areas, lighting (either internal or at the street) or storm-water control measures and the site is located within the 300 foot C1 Waterway buffer.

There is a drop curb located on the majority of the length of Prospect Place which creates access management issues. The property is currently used as a parking area. The asphalt at the drive entrances have been damaged most likely caused by the weight of tractor trailer parking and from rain run-off couple with thaw / freeze conditions at these locations.

During multiple site visits commercial truck, trailers, and non commercial vehicles were parked within the public right of way adjacent to the existing curbs.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

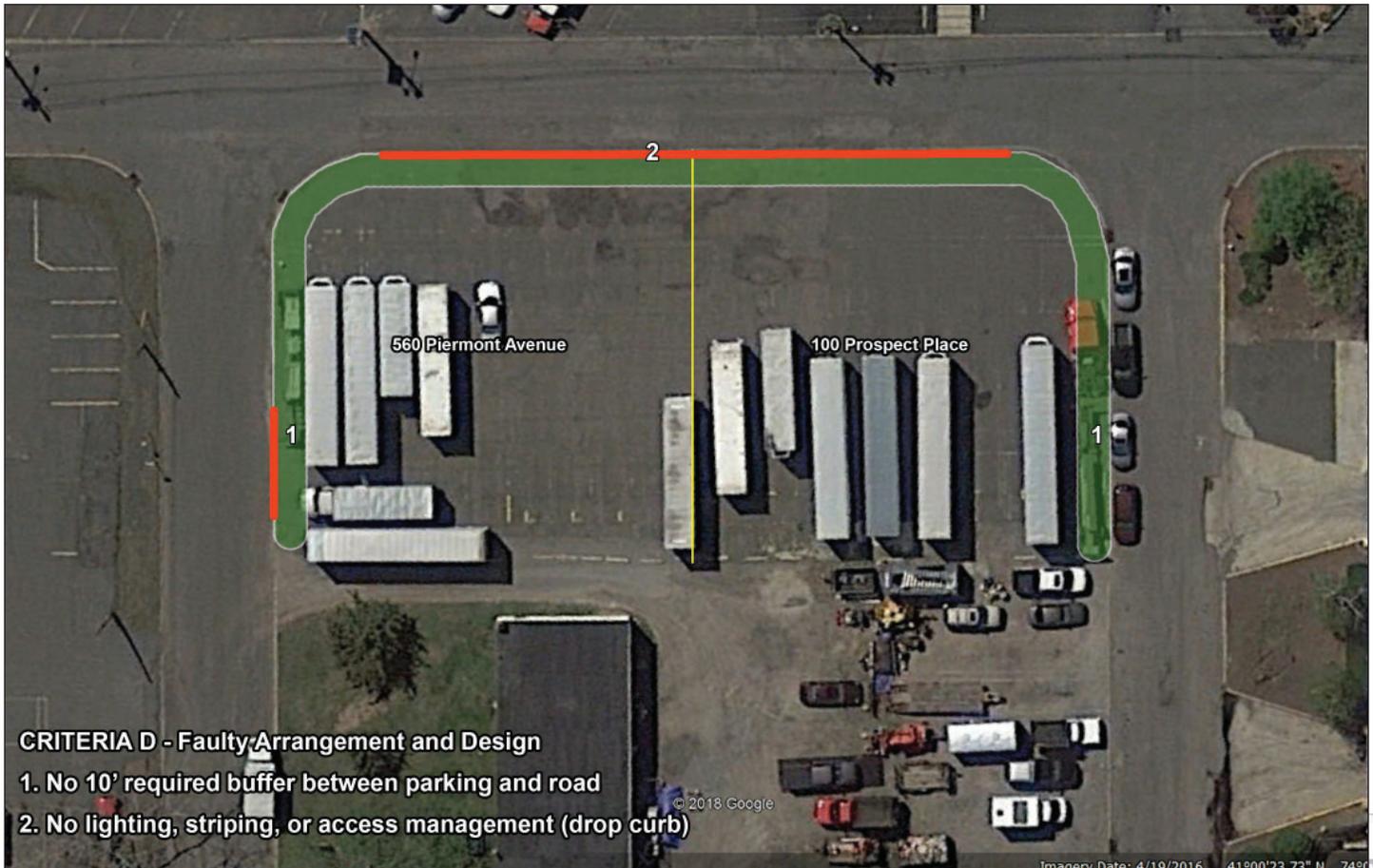
The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The lot includes asphalt parking to the back of curb, which violates the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which states, "Parking areas shall not be closer than 10 feet from any street line". This creates a dangerous condition by having vehicles parked in the public right of way with no sidewalks, buffers or any other pedestrian safety measures, which is detrimental to the safety, health and welfare of the community.
- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area." As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.
- 3) The other conditions that are detrimental to the health safety and welfare include the lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community. Given this property is located within the required 300 foot buffer for the C-1 waterway, run-off of debris, sediment and other contaminants during rain events without control measures represent a detrimental impact to the safety, health and welfare of the community as evidenced by the construction materials, gravel and debris identified in the images.
- 4) In addition, there is a lack of access management given asphalt is located up to the existing curb, which allows vehicles to enter and exit the property along it's entire length. This condition represents a faulty arrangement and design that is dangerous to the health, safety and welfare of other vehicles in the public right of way. This is further exacerbated by the lack of lighting on the property.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 7 be designated as an area in need of redevelopment

based on a faulty arrangement, obsolete layout and other conditions as outlined in this report. Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**CRITERIA D - Faulty Arrangement and Design**

- 1. No 10' required buffer between parking and road
- 2. No lighting, striping, or access management (drop curb)

Image 1: Google Aerial Map depicting impervious parking area with no sidewalks, lighting, pedestrian safety measures and the drop curb locations.



Image 2: Street view depicting impervious area with drop curb, lack of lighting, striping, sidewalks and access management.



Image 3: Street view depicting vehicles parked in the public right of way, lack of required 10' buffer, lack of light and other pedestrian safety measures.



**Image 4:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping and access management.



**Image 5:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping and access management.



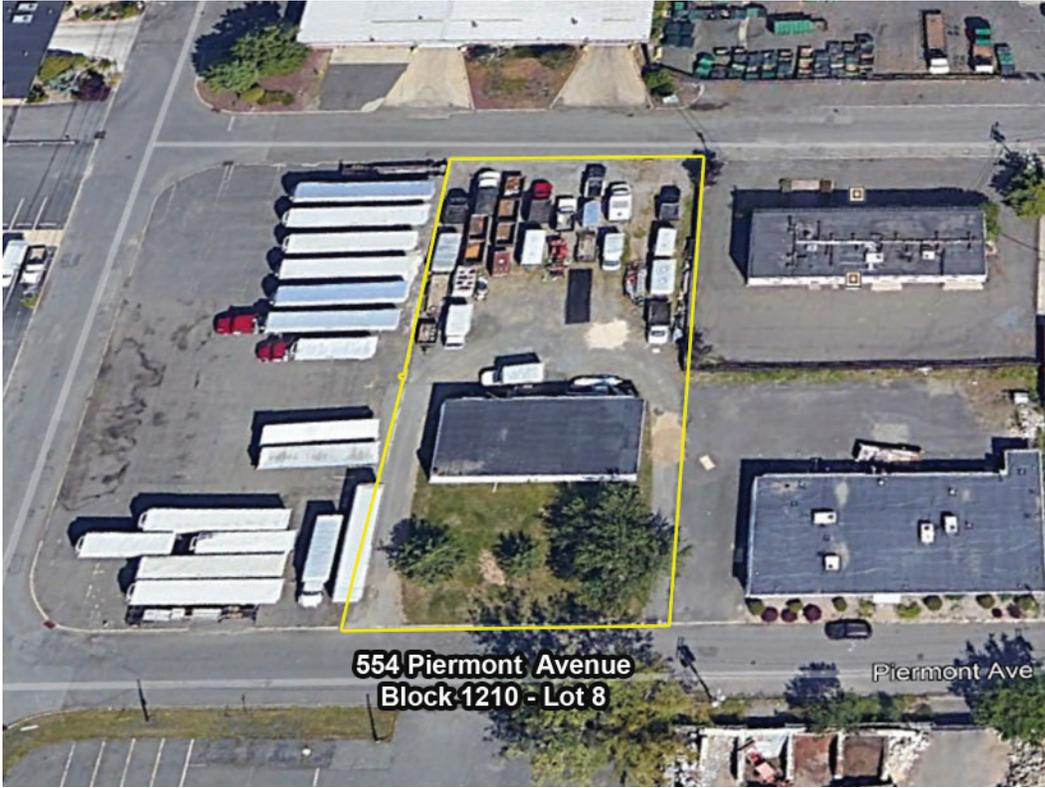
**Image 6:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping and access management.



**Image 7:** Street view depicting drop curb, lack of 10 foot buffer, lighting, striping, protection for the fire hydrant and access management.

554 Piermont Ave.  
Block 1210 Lot 8

May 2019



Owner: Joseph Camilleri Jr.  
158 West Oldis St.  
Rochelle Park, NJ 07662

**Property Use:**

Commercial

**Zone District:**

Industrial (I)

**Property Acreage:**

0.446

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 8:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 437,000 |
| 2. Land Value:        | \$ 400,000 |
| 3. Improvement Value: | \$ 37,000  |

**Property Description:**

This property (554 Piermont Avenue) includes a one story concrete building that is being used as an office/studio space. The property is a through lot with two curb cuts on Piermont Avenue and one on Brookside Place and is approximately 100 feet wide by 203 feet deep.

The building is approximately 70 feet wide by 35 feet deep and it is located approximately 60 feet from Piermont Avenue. The back portion of the lot includes a gravel area that is used for both parking and storage of vehicles and trailers that goes directly to the back of curb along Brookside Place. This condition violates the zoning ordinance along this street, which requires a minimum 10 setback for parking. In addition, there are no sidewalks, buffers, landscape areas, or any other pedestrian safety measures on either street frontage. In addition, the front door of the building does not include any sidewalk or pedestrian improvements.

The front of the building includes a large grass area with one driveway on either side of the building. The

drive along the east side of the building is approximately 10 feet while the drive aisle along the west side of the building is approximately 16 feet.

The front door is located in the middle of the building facing Piermont Avenue and does not include a landing, sidewalk or any pedestrian connection to either the street or the drive aisle. There are no sidewalks, lighting or other pedestrian safety measures along either street frontage. Finally, the property includes a roof leader drain at the rear portion of the property where there is gravel parking. The roof leader drains into a grass area adjacent to the drive aisle.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The property includes an improved gravel area that goes to the back of curb along Brookside Place. This condition violates the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which states, "Parking areas shall not be closer than 10 feet from any street line". This creates a dangerous condition by having vehicles parked in the public right of way with no sidewalks, buffers or any other pedestrian safety measures, which is detrimental to the safety, health and welfare of the community.
- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area." As noted in the property description, the property lacks site lighting, which creates dangerous conditions that are detrimental to the health, safety and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 8 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Narrow driveway in side yard



Image 2: Front entrance with no pedestrian access



Image 3: Fence along property line



Image 4: Parking area to the back of curb at Brookside Place.



Image 5: Parking area to the back of curb at Brookside Place.



Image 6: Parking area to the back of curb at Brookside Place.



**Image 7:** Vehicles parked at the rear portion of the property along Brookside Place.



**Image 8:** Vehicles parked at the rear portion of the property along Brookside Place.



**Image 9:** Parking area to the back of curb along Brookside Place.



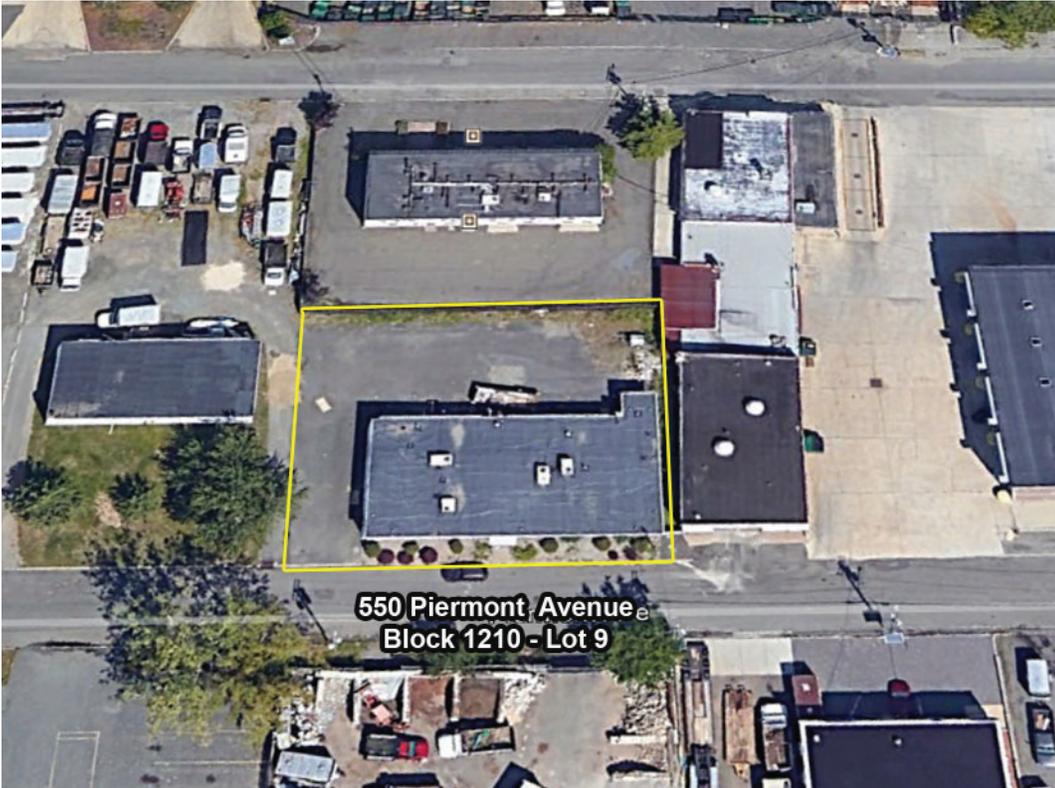
**Image 10:** Drive along west side of the building.



**Image 11:** Front facade of the building from Piermont Avenue.

550 Piermont Ave.  
Block 1210 Lot 9

May 2019



Owner: C.K.D. Inc.  
10 Stone Hollow Rd  
Montvale, NJ 07645

**Property Use:**  
Commercial

**Zone District:**  
Industrial (I)

**Property Acreage:**  
0.287

**Permitted Use:**  
Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 9:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 484,600 |
| 2. Land Value:        | \$ 375,000 |
| 3. Improvement Value: | \$ 109,600 |

**Property Description:**

This property (554 Piermont Avenue) includes a one story building that is approximately 100 feet wide by 50 feet deep on a lot that is approximately 125 feet wide by 100 feet deep. The vast majority of the property is impervious. Access to the property was requested but was not granted.

The building is currently being occupied by a dogie daycare business and includes parking along the side and rear portions of the property. There is one curb cut along the frontage on Piermont Avenue that is approximately 26 feet and is being used as a driveway to access the parking in the rear.

The front door of the building, which is set back approximately 11 feet from Piermont Avenue, includes three steps that lead to the back of curb. The stairs are located in the public right of way and the front entrance does not have any ADA means of access, nor does the property include a sidewalk along Piermont Avenue. Access to the front of the building would required individuals to walk in the street in order to access the front steps and doorway.

The rear portion of the building includes roof leader drains that disperse water across the drive aisle and parking lot. There is garage door located at the rear of the building but no apparent public doorway or access into the building from the rear. The building includes lighting on all sides with public access.

There is a landscape area between the building and the back of curb along Piermont Avenue. The dimension of the parking area in the rear is approximately 42 feet which would accommodate head in parking as well as a two lane aisle. The building includes wall mounted lighting at the front and sides of the building.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The roof leaders drain water across the asphalt parking areas and drive aisles into the public right of way. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians, which represents a detrimental impact to the health, safety and welfare of the community;
- 2) The property includes stairs located in the public right of way and does not include sidewalks or other means to access the building without going into Piermont Avenue.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 9 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



Image 1: Building frontage along Piermont Ave.



Image 2: Damage on building along roof line



Image 1: Building frontage along Piermont Ave.



Image 2: Damage on building along roof line

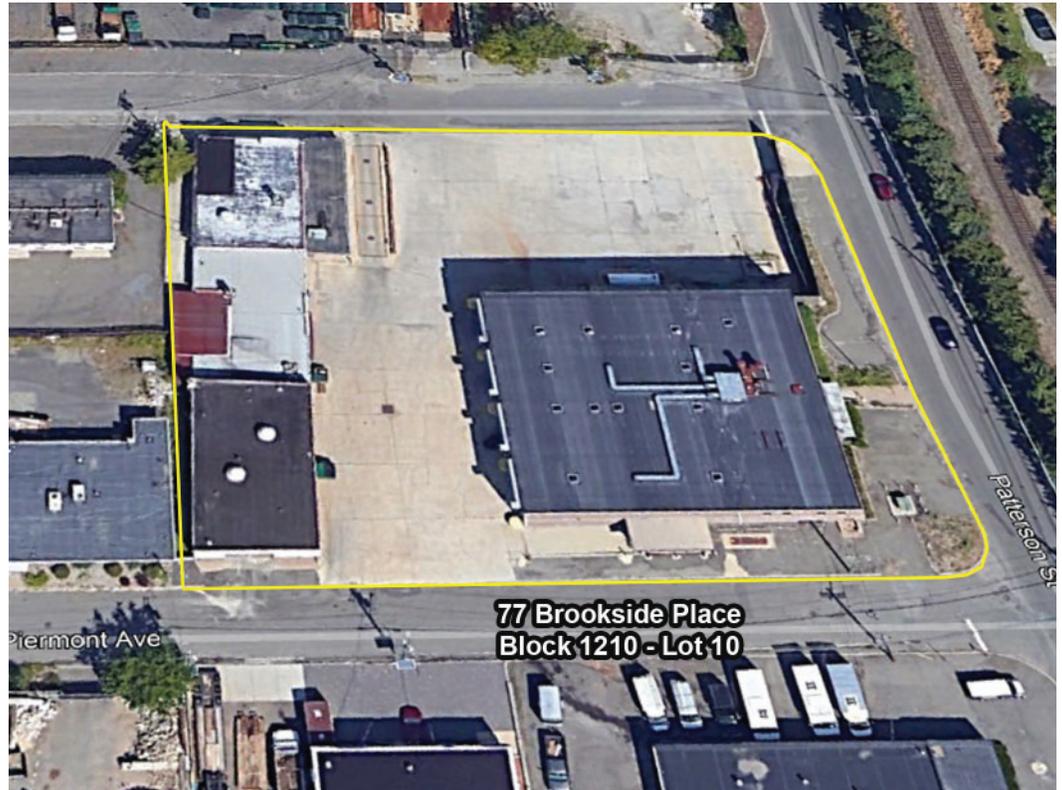


Image 3: Head in parking with drive aisle in the rear.



Image 4: Front entrance with steps to Piermont Avenue

Owner: USA Waste C/O  
Waste Mgmt.  
P.O. Box 1450  
Chicago, IL 60690



**Property Use:**

Industrial

**Zone District:**

Industrial (I)

**Property Acreage:**

1.17 ac

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 10:

1. Assessment:	\$ 760,900
2. Land Value:	\$ 375,000
3. Improvement Value:	\$ 385,900

**Property Description:**

This property (131 Patterson Street) is located at the corners of Piermont Avenue, Patterson Street and Brookside Place. The lot, which has access to all three streets with parking located along Piermont Avenue and Patterson Street is approximately 240 feet by 215 feet. There are two separate buildings located on the property with the larger building located along the eastern property line at the corner of Piermont Avenue and Patterson Street. The other smaller building is located along the western property line has entrances on both Brookside Place and Patterson Street.

In addition, there is a large approximately 15 foot pre-fabricated wall located along the length of Patterson Street from the edge of the larger building that terminates at the corner of Brookside Place. The wall extends to within a few feet of the curb line on Brookside Place, which creates visibility issues for vehicles attempting to make a turn from Brookside Place onto Patterson Street.

The larger of the two buildings, includes a two story office along Patterson Street with an open four bay

garage where garbage is dumped and transferred on a daily basis. Access to the garage bays are internal to the property. In addition, there is a one story metal shed attached to the larger building along Piermont Avenue. This building includes deterioration of the grouting along on the Piermont Avenue facade, as well as the multitude of repairs to the metal shed,

The other smaller building, which includes multiple varying spaces that extend from Piermont Avenue to Brookside Place appears to have been constructed in various stages over time, as evidenced by the change in elevations, construction type and disjointed nature of the separate spaces. This building includes an approximately one and a half story garage facing Piermont Avenue as well as a one story office space facing Brookside Place. This building is in poor condition, as evidenced by the significant number of cracks located on the building facade as noted in the images as well as deterioration of the concrete in areas where materials have fallen off the facade specifically facing Piermont Avenue. In addition, the door facing Piermont Avenue along the garage opens toward the public right of way and includes a 2 to 3 inch gap between the threshold and the sidewalk. Given the lack of lighting at the doorway, this represents a dangerous condition.

In general, the property does not have any sidewalks, street lights, or pedestrian safety measures of any kind. The area between the larger building and Piermont Avenue consists of concrete and asphalt from the building facade to the back of curb. This area between the building and the curb along Piermont Avenue is approximately 21 feet and includes four designated parking spaces. Given the dimension between the building and the back of curb any parked vehicles would be required to either back out of or into those spaces within the public right of way. In addition, there is a roof drain that spills out onto the asphalt along the last parking space. Water collected from the roof leaders that are dispersed through the roof drain in this location would flow across the asphalt, through one of the parking spaces and into the public right of way. There are no storm water control measures to divert, collect or control water in this location and given it's proximity to the parking spaces represent a faulty arrangement and design that would be detrimental to the safety, health and welfare of the community.

Along the Patterson Street facade, there appears to be four head in parking spaces located in front of the building, as well as a drop off area and small turn around, located to the north of the building closer to Brookside Place. The asphalt in these areas range from approximately 11 feet to 22 feet from the back of curb to the edge of the parking spaces which is a violation of the zoning ordinance. This would require vehicles to either back into or out of the property within the Patterson Street right of way, a 35 mph posted speed limit. As indicated previously, there are no sidewalks, street lights or any other pedestrian safety measures between the building and the back of curb. In addition, the asphalt in front of the building is in a complete state of disrepair, most likely caused by water draining across the asphalt and being stopped along the face of curb with thaw freeze events causing degradation over time.

The remaining frontage along Patterson Street to Brookside Place is comprised of a large permanent screen wall that appears to be approximately 15 feet in height. During multiple site visits vehicles were parallel parked in this area. The wall terminates less than 3 feet from the curb at Brookside Place. There are no sidewalks in this location or along the entire property length of Brookside Place with the exception of the area in front of the eastern building. The stop sign and stop line for vehicles traveling west on Brookside Place toward Patterson Street is located before the wall. This condition does not allow drivers to adequately and legally stop at the proper location in order to see traffic. This condition requires drivers to pull beyond the stop sign and into a portion of the south bound Patterson Street right of way.

Along Brookside Avenue, the entire length of the property is comprised of concrete paving with no curb, sidewalk, street lights or pedestrian safety measures for the entire length until it meets the smaller building at the west corner of the property. Looking south from Brookside Place toward the building, there are no

visible storm water management control measures. Along the south facing building facade there is a roof drain that spills water directly on the concrete and the grades for this side of the building appear to drain from the property into the public right of way.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations and complaints on the property. These include four (4) traffic violation/ motor vehicle accident, twenty two (22) noise/odor complaints, sixteen (16) municipal ordinance violations including and seven (7) fire dept call/request. See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) Roof leader lines drain water across the asphalt parking areas / spaces into the public right of way along Piermont Avenue and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot into the public storm water system, which represents a faulty arrangement and design that is detrimental to the health, safety and welfare of the community;
- 2) The door located on the smaller building that faces Piermont Avenue swings open onto the asphalt area and includes a threshold of several inches above the existing grade. In addition, there is no exterior lighting for these areas, which creates a tripping hazard all of which represent a faulty arrangement and design that is detrimental to the health, safety and welfare of the community.
- 3) The area between the building and the public streets along Piermont Avenue and Patterson Streets are insufficient and do not meet the requirements of the Hillsdale Zoning Ordinance (Section 310-58). This deficiency create dangerous conditions, which are detrimental to the safety, health and welfare of the community. The existing dimension between the building and Prospect Place ranges from approximately 21 to 29 feet. The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58) As noted the asphalt parking goes directly to the back of curb along both streets which does not meet this requirement.

The resulting condition leaves less than the required space given drive aisles are required to be a minimum of 12 feet (Section 310.106) for an angle parking configuration. The zoning code also

states an off-street space available for the parking of a motor vehicle provided that such space shall have a minimum width of 10 feet and a minimum depth of 20 feet, exclusive of maneuvering areas, passageways, driveways and loading spaces appurtenant thereto (Section 310-4). Given all of the requirements for the parking, drive aisle width and offset distance from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way, which is dangerous condition that is detrimental to the health, safety and welfare of pedestrians and vehicles. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 4) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community as vehicles are maneuvering within the site when it is dark.
- 5) The location of the approximately 15 foot pre-fabricated wall represents a faulty arrangement and design evidenced by the stop sign being located behind the wall on Brookside Place at the Patterson Street intersection, which does not allow adequate site lines for vehicles without pulling into the Patterson Street right of way. This condition also limits the ability for any sidewalk to be located long that portion of the property, which represents a dangerous condition for pedestrians.
- 6) As noted, the area lacks proper safety measures including sidewalks, pronounced curbs and buffers between the site and the public right of ways. The site does not have any pedestrian safety measures or access management that would direct traffic to certain points along Brookside Place, all of which represent a faulty arrangement and obsolete layout that is detrimental to the health, safety and welfare of the community by allowing vehicles to drive into the site without any control measures. This creates safety concerns for pedestrians along those street frontages.
- 7) The other conditions include the condition of the facade of the long linear building as evidenced by the significant cracks along various areas of the facade as well as pieces of the facade that are missing and appear to have fallen off the building. These conditions are detrimental to the health, safety and welfare of the community, as they could fall onto pedestrians or create tripping hazards within the public right of way. In addition, there is a significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system.

These items represent a faulty arrangement and obsolete layouts which create a detrimental impact on the safety, health and welfare of the community. Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 10 be designated as an area in need of redevelopment.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** Building at west edge of property facing interior property depicting large cracks along the facade.



**Image 2:** Building at west edge of property facing interior property depicting large cracks along the facade.



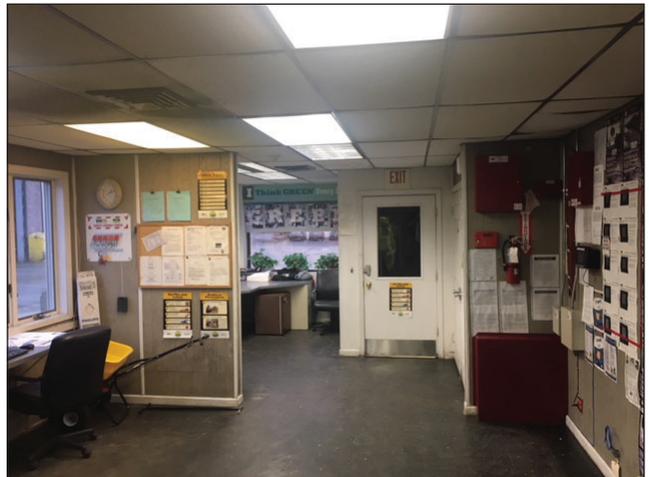
**Image 3:** Building at west edge of property depicting grades along edge of property.



**Image 4:** Door from building without light depicting door threshold off concrete area..



**Image 5:** Building at west edge of property facing interior property depicting large cracks and missing construction materials along the facade.



**Image 6:** Interior office



**Image 7:** Building at west edge of property facing interior property depicting large cracks along the facade.



**Image 8:** Building at west edge of property facing interior property depicting large cracks along the facade.



**Image 9:** Building at west edge of property facing interior property depicting large cracks along the interior walls.



**Image 10:** Two story building with four garage bays depicting impervious area and grading toward the public right of way. No sidewalks, lighting or access control measures.



**Image 11:** Two story building along Piermont Avenue with metal shed and head in parking along the building facade. Roof drain shown on the parking and draining to the public right of way.



**Image 12:** Two story building roof drain onto the parking area along Piermont Avenue.



Image 13: Building along Piermont Avenue with asphalt and concrete depicting grading toward the public right of way with metal shed.



Image 14: Interior of large bay garage with mezzanine level former office.



Image 15: Head in parking along Piermont Avenue with drop curb.



Image 16: Patterson Street facing north depicting parking along the building. Includes significant amount of sediment and debris draining into the public right of way.



Image 17: Patterson Street facing north depicting parking along the building. Includes significant amount of sediment and debris draining into the public right of way.



Image 18: Patterson Street facing north depicting parking along the building. Includes significant amount of sediment and debris draining into the public right of way.



Image 19: Walkway entrance from Patterson Street with no ADA ramp.



Image 20: Large wall along Patterson Street which does not provide adequate area for a sidewalk at the corner of Brookside Place.



Image 21: Large wall along Patterson Street which does not provide adequate area for a sidewalk at the corner of Brookside Place.



Image 22: Large wall along Patterson Street depicting asphalt area in front and a small turn around area adjacent to the front entrance with insufficient room to maneuver outside of the right of way.



Image 23: View of Patterson Street from the driver position legally stopped at the corner, depicting limited view of on-coming traffic.



Image 24: View of Patterson Street from the driver position legally stopped at the corner, depicting limited view of on-coming traffic with stop sign attached to bollard.



Image 25: View of stop sign at Brookside and Patterson Street.



Image 26: View from Brookside Place across impervious lot to the building depicting roof drain.



Image 27: View from Brookside Place across impervious lot to the building depicting roof drain, sediment and fuel tank with missing bollards.



Image 28: View from Brookside Place across impervious lot.

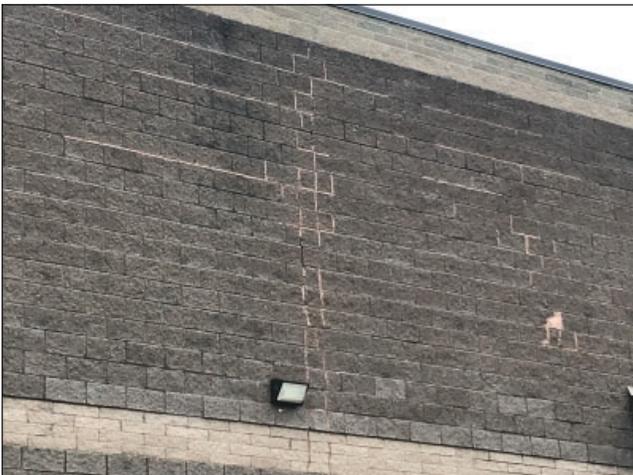
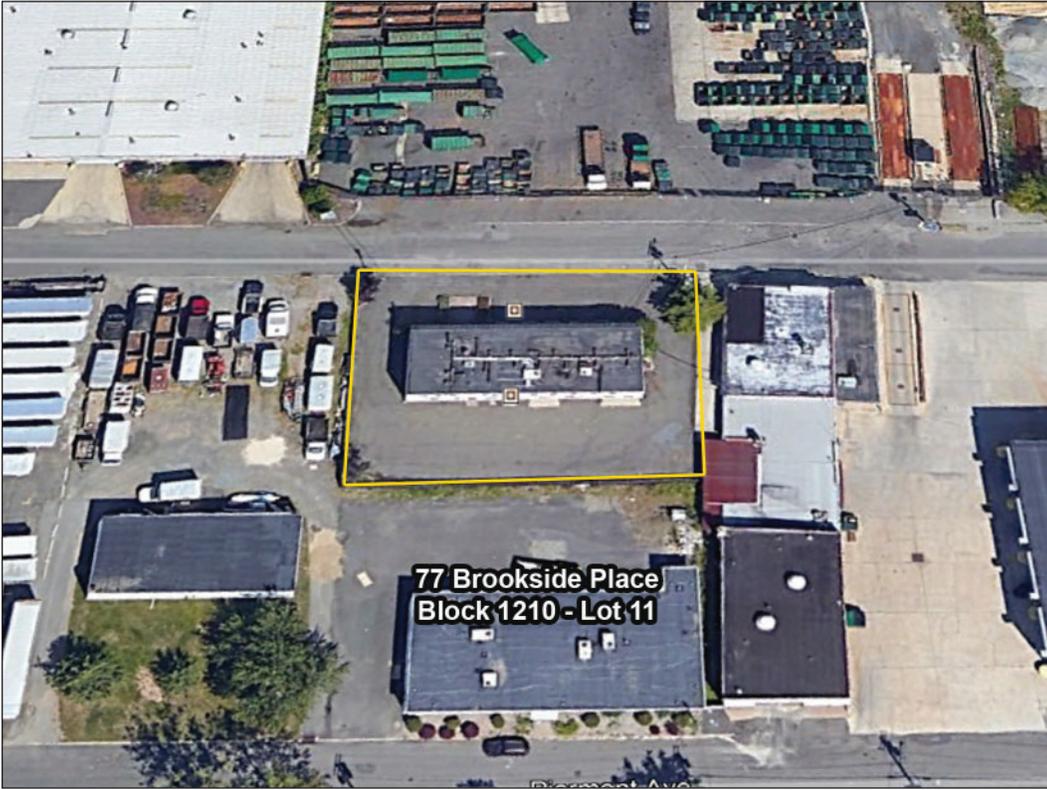


Image 29: View of building facade with grouting issues.

77 Brookside Pl.  
Block 1210 Lot 11

May 2019



Owner: USA Waste C/O  
Waste Mgmt.  
P.O. Box 1450  
Chicago, IL 60690

**Property Use:**

Commercial

**Zone District:**

Industrial (I)

**Property Acreage:**

0.2956

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1210 Lot 11:

- |                       |            |
|-----------------------|------------|
| 1. Assessment:        | \$ 760,900 |
| 2. Land Value:        | \$ 375,000 |
| 3. Improvement Value: | \$ 385,900 |

**Property Description:**

This property (77 Brookside Place) includes a vacant two story office building that is approximately 90 feet by 38 feet. The property is approximately 125 feet wide by 103 feet deep with frontage along Brookside Place and with the exception of a couple of small landscape areas in front of the building the lot is comprised of impervious surfaces including asphalt parking at the front and rear of the building. The property includes two one way drives with on either side of the building off Brookside Place and has a drop curb along the street frontage between the driveways. Although the building is unoccupied, power, heat and water was working in the building.

The building is setback from the existing curb approximately 28 feet and includes head-in parking in front of the building. This dimension does not allow vehicles to park head in without backing into or out of those spaces from the public right of way. Additional parking is located in the rear of the building. The building includes two entrances along the front of the building and two entrances from the rear parking lot. The

doorways at the rear portion of the building are raised above the parking which creates a safety issue for individuals using either doorway. In addition, the doorways at the rear of the building open onto the asphalt parking lot with no pedestrian safety measures.

There are multiple roof leader drains at the rear portion of the building that drain onto the parking and driveways. The street frontage has no sidewalks, access control measures, or other pedestrian safety improvements to separate pedestrians from vehicles.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations on the property. These include a five different traffic violations/motor vehicle accidents. See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The area between the building and the public streets are insufficient and do not meet all of the requirements of the Hillsdale Zoning Ordinance (Section 310-58) which create dangerous conditions that are detrimental to the safety, health and welfare of the community. The existing dimension between the building is approximately 28'-0" from Brookside Place.

The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58). This condition is not met along either street frontage. The dimension between the building and the setback is not sufficient for vehicles to maneuver within the property lines and requires vehicles to back into the 10 foot public right of way where pedestrians would walk. There are no pedestrian safety measures, sidewalks, or buffer areas between the back of curb to the building.

Given the requirements for the parking, drive aisle and offset from a public street the layout represents a faulty arrangement as well as an obsolete layout. The limited dimension requires vehicles to back into the public right of way which is dangerous to the health, safety and welfare of pedestrians. A lack of lighting in the parking areas adds to the dangerous condition along the back of curb.

- 2) The roof leader drains water across the asphalt parking area and the drive aisle at the rear of the building. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians, which represents a detrimental impact to the health, safety and welfare of the community.
- 3) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated

adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property also lacks site lighting, which creates dangerous conditions that are detrimental to the safety, health and welfare of the community.

- 4) The egress doors at the rear of the building are raised above the parking area and do not provide any pedestrian safety measures. This represents a faulty arrangement that is detrimental to the health, safety and welfare of the community.
- 5) The other conditions that are detrimental to the health safety and welfare include the significant amount of impervious surfaces located on the property. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system. The lack of pervious area does not allow water to penetrate into the ground causing increasing flow into the storm water system. During rain events that system can be overwhelmed causing more severe and significant flooding the area which is detrimental to the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1210 Lot 11 be designated as an area in need of redevelopment based on a faulty arrangement, obsolete layout and other conditions as outlined in this report.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** View of the rear facade and parking area depicting the roof leader drains directly onto the asphalt, doorways raised above the parking area.



**Image 2:** View of the rear facade and parking area depicting the roof leader drains directly onto the asphalt, doorways raised above the parking area.



**Image 3:** View of the rear facade and parking area depicting the roof leader drains directly onto the asphalt, doorways raised above the parking area.



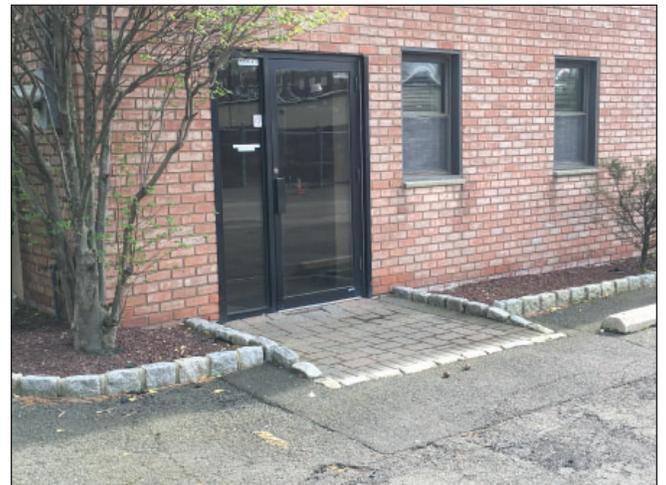
**Image 4:** View of the rear facade and parking area depicting the roof leader drains directly onto the asphalt, doorways raised above the parking area.



**Image 5:** View of asphalt parking and building along Brookside Avenue with no access control measures, sidewalks or other pedestrian safety measures.



**Image 6:** View of asphalt parking and building along Brookside Avenue with no access control measures, sidewalks or other pedestrian safety measures.



**Image 7:** View of asphalt parking and building along Brookside Avenue with no access control measures, sidewalks or other pedestrian safety measures.



**Image 8:** View of asphalt parking with head in parking and no area for vehicles to maneuver within the property.



**Image 9:** View of asphalt parking and grading toward the public right of way with no access control measures.



**Image 10:** View from Brookside Place across impervious lot to the building.



**Image 11:** View of parking area in front of the building along the drop curb depicting sediment and damage to the asphalt.



**Image 12:** View of asphalt parking with no access control measures and significant sediment across the public right of way.



**Image 13:** View of driveway along the side of the building.



**Image 14:** View of corner property with sediment in the public right of way.



**Image 15:** View of corner property with sediment in the public right of way.



**Image 16:** Interior empty office



**Image 17:** View of interior stairs



**Image 18:** View of empty interior hallway



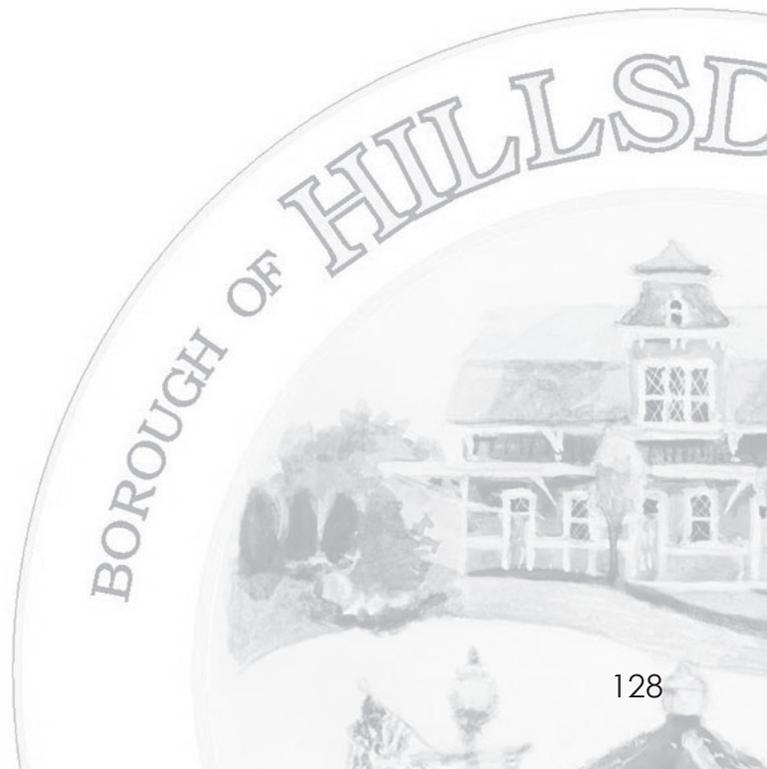
**Image 19:** View of interior office



Image 20: Interior empty office



Image 21: View of bathroom.



Owner: USA Waste C/O  
Waste Mgmt.  
P.O. Box 1450  
Chicago, IL 60690



**Property Use:**

Surface Lot

**Zone District:**

Industrial (I)

**Property Acreage:**

1.75

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1211 Lot 1:

- |                       |              |
|-----------------------|--------------|
| 1. Assessment:        | \$ 1,136,900 |
| 2. Land Value:        | \$ 1,050,000 |
| 3. Improvement Value: | \$ 86,900    |

**Property Description:**

This property (145 Patterson Street) is located at the corners of Brookside Place, Patterson Street and Knickerbocker Avenue, and is predominantly comprised of asphalt, gravel and concrete areas. The property is fenced off into two distinct areas, with the first area located along the entire length of Patterson Street from Brookside Place to Knickerbocker Avenue and the second located to the rear with frontage along Brookside Place and Knickerbocker Avenue.

The first area is comprised of gravel along the Patterson Street frontage with one access point off Brookside Place. There is a large, approximately 15 foot wall located at the eastern property line along Patterson Street that turns down and continues along the majority of Knickerbocker Avenue. The first area appears to be used for the storage of roll up trash compactors, bins, large metal containers, and other trailers. The grades for this area drain water toward both Brookside Place and Knickerbocker Avenue at the property edges. This condition has lead to a significant amount of sediment, gravel and debris in the

street. Along Knickerbocker Avenue the large permanent wall is located several feet above the back of curb. In these locations, the gravel embankment has degraded and stone, rock and other sediment is washing into the street. In addition the loss of gravel at the base of the wall along Knickerbocker Avenue has exposed the bottom of the concrete base between the wall footings, which may represent an undermining of the walls structural integrity.

In certain sections along Knickerbocker Avenue and for most of the frontage along Brookside Place, there is asphalt located between the wall and the back of curb, which would allow vehicles to either park or maneuver within the public right of way, which is not permitted. In addition, the property includes no sidewalks, lighting, or other pedestrian safety improvements along Patterson Street, Brookside Place or Knickerbocker Avenue.

The stop sign and line at Knickerbocker Avenue on the south side is located approximately 5 feet in front of the wall, which would impede visibility for someone trying to turn onto Patterson Street. This condition would require vehicles to pull into the Patterson Street public right of way in order to see oncoming traffic.

The second lot is predominantly comprised of asphalt and includes a small security both off Brookside Place with a non secured entrance off Knickerbocker Avenue. This portion of the property includes storage for roll up trash compactors, trash bins and large metal containers as well as tractor trailer beds. The entrance to this section along Brookside Place includes damage to bollards indicating vehicles not being able to make the proper turning radius into or out of the property.

The property does not include any on-site lighting, sidewalks, other pedestrian safety measures or storm water management control measures.

#### **Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations and complaints on the property, this includes one noise/odor complaint. See the Appendix of this report for all of the records and violations associated with the property.

#### **Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

#### **Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate

shielding shall be provided by all such users to protect adjacent residential districts from the glare of such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community as vehicles are maneuvering within the site when it is dark.

- 2) The location of the approximately 15 foot pre-fabricated wall along the length of Patterson Street represents a faulty arrangement and design evidenced by the stop sign being located behind the wall on Knickerbocker Avenue at the Patterson Street intersection, which does not allow adequate site lines for vehicles without pulling into the Patterson Street right of way. This condition also limits the ability for any sidewalk to be located long that portion of the property, which represents a dangerous condition for pedestrians.
- 3) The location of asphalt parking areas along both Patterson Street and Brookside Place represent a faulty arrangement and design which does not meet the requirements of the Hillsdale Zoning Ordinance (Section 310-58). This deficiency create dangerous conditions which are detrimental to the safety, health and welfare of the community. The existing dimension between the wall and both Patterson Street and Knickerbocker Avenue is less than what is required. "Parking areas shall not be closer than 10 feet from any street line" (Section 310-58). As noted the asphalt parking goes directly to the back of curb along both streets, which does not meet this requirement.
- 4) The location of the pre-fabricated wall along Knickerbocker Avenue is significantly higher (multiple feet) than the existing grade of the curb and street. Given there are no sidewalks in this area and the grades have caused gravel and sediment to go into the public street in these locations, this represents a faulty arrangement and design that is detrimental to the health, safety and welfare of the community. In addition the concrete base of the wall appears to be exposed due to the degradation of the underlying gravel base. This appears to have exposed the bottom of the wall over time and represents a faulty design that is detrimental to the health safety an welfare of the community.
- 5) The property includes large areas of stored construction including rusting materials that are located on the asphalt / gravel lot. The lot grades toward the street and there are no storm water measures located on the site. Per Section 310-107, "Industrial storm water exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial storm water discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to storm water".

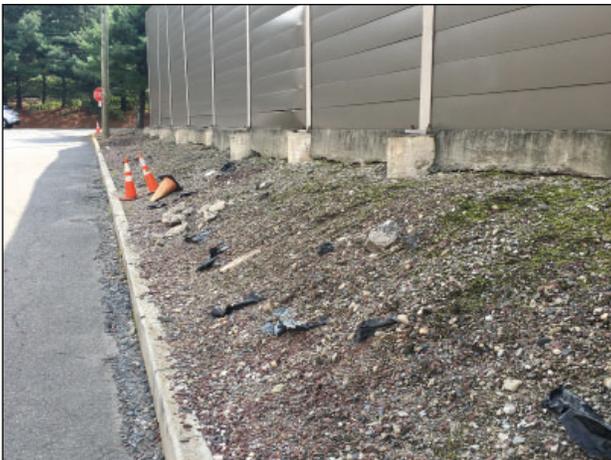
Although this property does not require these provisions given there is no site plan application, the lack of storm water management represents a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

- 6) As noted, the area lacks proper safety measures including sidewalks, pronounced curbs and buffers between the site and the public right of ways while providing areas for parking all of which represent a faulty arrangement and obsolete layout that is detrimental to the health, safety and welfare of the

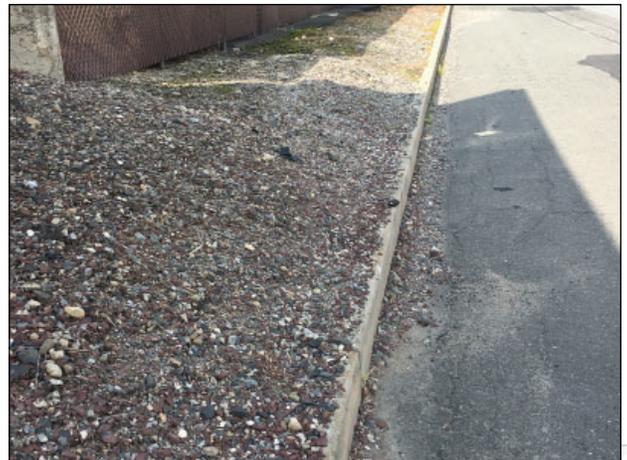
community by allowing vehicles to park along Patterson Street and Knickerbocker Avenue with limited safety control measures. This condition represents a faulty arrangement and design that creates safety concerns for pedestrians along those street frontages. These items represent a faulty arrangement and obsolete layouts which create a detrimental impact on the safety, health and welfare of the community.

Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1211 Lot 1 be designated as an area in need of redevelopment.

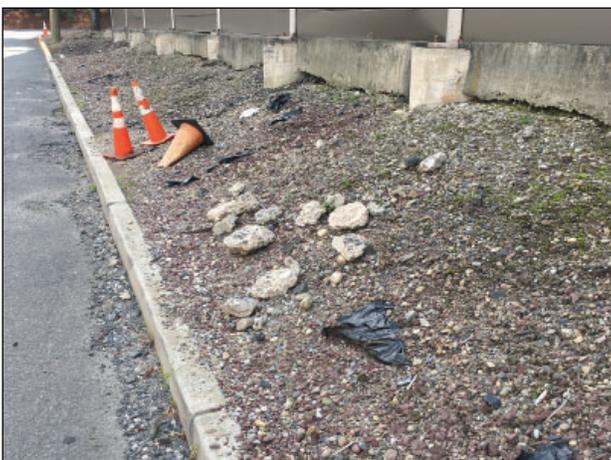
Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



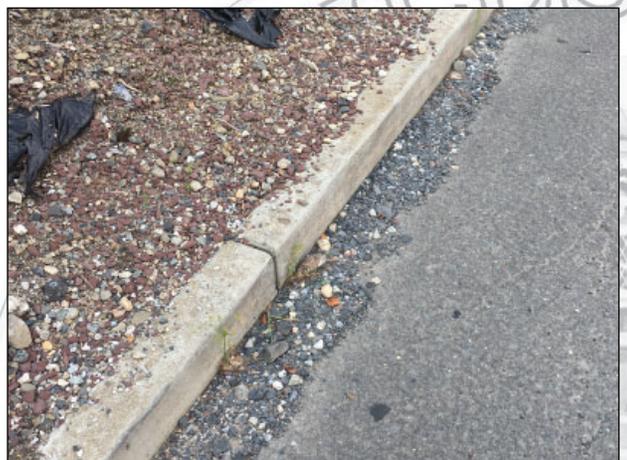
**Image 1:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 2:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 3:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 4:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 5:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 6:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 7:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 8:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 9:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 10:** View of wall on Knickerbocker Avenue with sediment and debris falling into the public right of way and street.



**Image 11:** View of wall on Patterson Street with no sidewalks, street lights and includes asphalt parking areas.



**Image 12:** View of wall on Patterson Street with no sidewalks, street lights and includes asphalt parking areas.



**Image 13:** View along Brookside Place.



**Image 14:** View of wall at the corner of Brookside Place and Patterson Street depicting the wall with limited visibility and no room for a sidewalk



**Image 15:** View along Brookside Place depicting sediment and gravel onto the public right of way.



**Image 16:** View down Brookside Place.



Image 17: View of entrance into the asphalt parking area with damage to utility pole protection.



Image 18: View along Brookside Place depicting no curb, sidewalk, street lighting or pedestrian safety controls.



Image 19: View along Brookside Place.



Image 20: View of entrance into the asphalt parking area with damage to utility pole protection.



Image 21: View into storage area.



Image 22: View into storage area



**Image 23:** View along Brookside Place depicting drop curb with lack of sidewalks, street lighting and other pedestrian safety measures.



**Image 24:** View along Brookside Place.



**Image 25:** View of entrance from Knickerbocker Avenue.



**Image 26:** View of drainage area with severe grading along entrance drive.

Owner: USA Waste C/O  
Waste Mgmt.  
P.O. Box 1450  
Chicago, IL 60690



**Property Use:**

Warehouse

**Zone District:**

Industrial (I)

**Property Acreage:**

1.50

**Permitted Use:**

Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1211 Lot 2:

- |                       |             |
|-----------------------|-------------|
| 1. Assessment:        | \$1,800,100 |
| 2. Land Value:        | \$ 900,000  |
| 3. Improvement Value: | \$ 900,100  |

**Property Description:**

This property (60 Brookside Place) has frontage on Brookside Place, Prospect Street and Knickerbocker Avenue. The interior of the building is a large open structure with a small second level office located on within a small portion of the building. There are two curb cuts along Brookside Place with entrances into the warehouse and one on Knickerbocker Avenue. The majority of the length of the property along Prospect Place has a dropped curb that allows head-in parking. The building is approximately 180 feet by 150 feet and covers a significant portion of the lot.

The property is predominantly comprised of impervious area and includes a portion of the asphalt area that stores trash and recycling bins. Parking for the building is located on Prospect Place, which has head in parking that would require vehicles to back into the public right of way. This location does not have a drop curb in front of the parking and has rusting construction materials located in the majority of the parking area. A portion of the property is located within the 300 foot C1 buffer.

The grades along all streets go toward the public right of way and the property does not have any sidewalks, street lights, or pedestrian safety measures. In addition, roof drains along Prospect Place spill directly on the asphalt across the parking area and into the public right of way.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations and complaints on the property. These include three (3) traffic violation/ motor vehicle accident, thirteen (13) noise/odor complaints, nine (9) municipal ordinance violations including one for a "dangerous condition" and four (4) fire dept call/request. See the Appendix of this report for all of the records and violations associated with the property.

**Redevelopment Designation:**

The nature of the property meets criteria 'd' of the LRHL, specifically:

- d. Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

**Conclusion:**

The conditions of the property/ improvements observed during multiple site visits as described and noted in the Property Description and the attached images and exhibits, demonstrate characteristics that by reason of faulty arrangement, obsolete layout and other conditions are detrimental to the safety, health, and welfare of the community which meet Criterion "d".

The Area of Investigation consists of several of the qualities for the faulty arrangement and obsolete layout as described in Criterion "d", include:

- 1) The property includes large areas of stored construction and rusting materials that are located on the asphalt / gravel lot as well as within the parking area along Prospect Place. The lot grades toward the street and there are no storm water measures located on the site.

Per Section 310-107, "Industrial storm water exposed to source material. "Source material" means any material(s) or machinery, located at an industrial facility that is directly or indirectly related to process, manufacturing or other industrial activities, which could be a source of pollutants in any industrial storm water discharge to groundwater. Source materials include, but are not limited to, raw materials; intermediate products; final products; waste materials; by-products; industrial machinery and fuels, and lubricants, solvents, and detergents that are related to process, manufacturing, or other industrial activities that are exposed to storm water".

Although this property does not require these provisions given there is no site plan application, the lack of storm water management represents a condition that could be detrimental to the health, safety and welfare give the lack of controls for this property. During rain events there are no control measures to prevent the raw materials from going into the public right of way and into the storm water system. This condition is detrimental to the safety, health and welfare of the community in that run-off is being drained into the storm water system without any control measures.

- 2) Per Section 310-113, "All parking areas and appurtenant maneuvering areas, passageways and driveways serving semipublic, office research, commercial and industrial uses shall be illuminated adequately during the hours between sunset and sunrise when the use is in operation. Adequate shielding shall be provided by all such users to protect adjacent residential districts from the glare of

such illumination and from glare of motor vehicle headlights produced by such vehicles entering and leaving the area". As noted in the property description, the property lacks site lighting, which creates dangerous conditions that can be detrimental to the health, safety and welfare of the community as vehicles are maneuvering within the site when it is dark.

- 3) Roof leaders drain water across the asphalt parking areas into the public right of way and into the existing storm water system. During rain and freezing events this condition is detrimental to the safety, health and welfare of the community by draining water across areas that are used by vehicles and pedestrians. In addition, water run-off can take chemicals, silt and debris from the asphalt parking lot into the public storm water system, which represents a detrimental impact to the health, safety and welfare of the community;
- 4) As noted in the property description, head in parking is located along the Prospect Place street frontage that would require vehicles to back into the public right of way. The zoning states, "Parking areas shall not be closer than 10 feet from any street line". (Section 310-58) The asphalt parking along Prospect Street is closer than the required 10 feet, which requires vehicles to back into the public right of way. This condition represents a faulty arrangement and design by requiring vehicles to back into the public right of way. The lack of access management to the spaces coupled with the land off lighting and sidewalks represents a faulty arrangement and design that is detrimental for both vehicles and pedestrians.
- 5) As noted, the area lacks proper safety measures including sidewalks, pronounced curbs and buffers between the site and the public right of ways. The site does not have any pedestrian safety measures or access management that would direct traffic to certain points along Prospect Place, all of which represent a faulty arrangement and obsolete layout that is detrimental to the health, safety and welfare of the community by allowing vehicles to drive onto the site without any control measures. This creates safety concerns for pedestrians along that frontage.
- 6) The other conditions include a significant amount of the site is comprised of impervious surfaces. Due to a lack of control measures during peak run-off times caused by storm events, this condition leads to flooding and overwhelming the existing storm water system.

These items represent a faulty arrangement and obsolete layouts which create a detrimental impact on the safety, health and welfare of the community. Based on the information obtained during a physical inspection and documented herein, it is the recommendation of this report that Block 1211 Lot 2 be designated as an area in need of redevelopment.

Lastly, even if these conditions were not present, this property should be included within the redevelopment area because without the property the effective redevelopment of the area of which they are part would not be practical.



**Image 1:** View of parking area on Prospect Street with rusting construction materials.



**Image 2:** View of parking area on Prospect Street with rusting construction materials. Grades toward the street with sediment and debris in the public right of way.



**Image 3:** View of parking area on Prospect Street with rusting construction materials.



**Image 4:** View of entrance from Knickerbocker Avenue.



**Image 5:** View of entrance from Knickerbocker Avenue.



**Image 6:** View of entrance from Knickerbocker Avenue.



**Image 7:** View of parking area on Prospect Street with rusting construction materials.



**Image 8:** View of Knickerbocker entrance with no sidewalk or safety lighting.



**Image 9:** View of building along Brookside Place depicting grades away from the building with no sidewalks or pedestrian control measures.



**Image 10:** View of Knickerbocker entrance with no sidewalk or safety lighting.



**Image 11:** View of building, roof drains and construction materials along Prospect Place with sediment and gravel in public right of way and parking area.



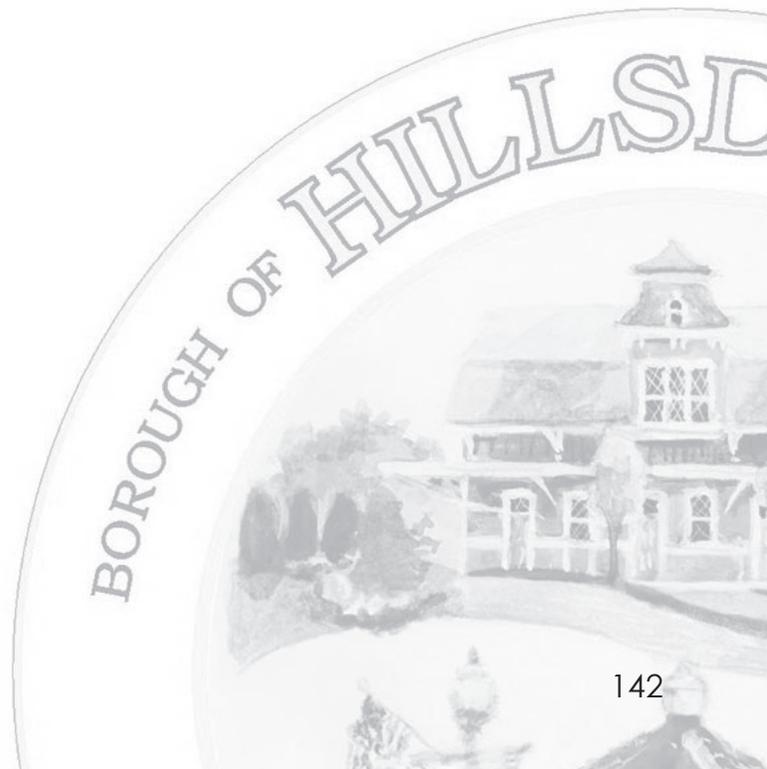
**Image 12:** View roof drains along Prospect Place.



Image 13: View of asphalt parking area to the east of the building.



Image 14: View of parking area off Prospect Place.



Hiller & Skoglund Land  
Associates  
94 Waldwick Ave.  
Waldwick, NJ 07463



**Property Use:**  
Commercial

**Zone District:**  
Industrial (I)

**Property Acreage:**  
1.37

**Permitted Use:**  
Yes

**Property Value:**

According to the Borough of Hillsdale the assessed value for Block 1212 Lot 13:

- |                       |             |
|-----------------------|-------------|
| 1. Assessment:        | \$1,818,800 |
| 2. Land Value:        | \$ 822,000  |
| 3. Improvement Value: | \$ 996,800  |

**Property Description:**

This property (270 Knickerbocker Avenue) is located at the corner of Knickerbocker Avenue and Patterson Street and includes two one-story buildings with parking generally surrounding the buildings. The buildings appear to function as separate uses with the building closest to Patterson Street being utilized for a commercial use and the building located on Knickerbocker Avenue functioning as a warehouse type facility.

There are three curb cuts located on Knickerbocker Avenue and one curb cut located on Patterson Street. The building that fronts Patterson Street includes a driveway with a one-way drive to Knickerbocker Avenue. The parking is delineated with landscape areas and the streetscape including landscape planting areas and street trees. Additional landscape areas are located along the side yard. There are no sidewalks located along either street, however the parking is setback more than 10 feet along both streets which meets the requirements of the zoning ordinance. Although there is no site lighting, the building has

multiple lights on both Patterson Street and Knickerbocker Avenue that effectively light the parking areas. The building facing Knickerbocker Avenue is a one story warehouse with a single roll up door. The property includes parking areas surrounding the building. Although there is no sidewalks, the parking is set back beyond the required 10 feet. A landscape buffer is located along the rear and side portions of the property.

**Borough Records Concerning Enforcement Actions at the Subject Property:**

The Borough's records show there have been a number of violations and complaints on the property. These include two (2) traffic violation/ motor vehicle accident, one (1) municipal ordinance violation, one (1) gas leak/explosion and two (2) fire dept call/request. See the Appendix of this report for all of the records and violations associated with the property.

**Conclusion:**

Given the building includes lighting, has landscape areas along the streets for storm water management, includes defined and delineated access points, and allows vehicles to maneuver within the property without having to back into the public right and has recently undergone renovations, it is the opinion of this report that this property does not meet the statutory criteria for an area in need of redevelopment and therefore it is the recommendation this property not be designated.



Image 1: View along Knickerbocker Avenue.



Image 2: View of building fronting Knickerbocker Avenue.



Image 3: Corner of Patterson Street and Knickerbocker Avenue.



Image 4: Landscape area along side property line.

## **8. SUMMARY AND FINDINGS:**

Based on the information obtained through the investigation of each property within the investigation area, it is the recommendation of this report all Block and Lots meet the statutory criteria as an area in need of Rehabilitation.

Based on the information obtained through the investigation of each property within the investigation area, it is the recommendation of this report the following properties meet the statutory criteria and should be designated as an area in need of redevelopment.

Properties Recommended for Designation (Criteria 'd'):

- Block 1207: Lots 8, 9 & 10
- Block 1208: Lots 1, 2, 3, 4 & 5
- Block 1209: Lots 2, 3, 4, 5 & 6
- Block 1210: Lots 6, 7, 8, 9, 10 & 11
- Block 1211: Lots 1 & 2

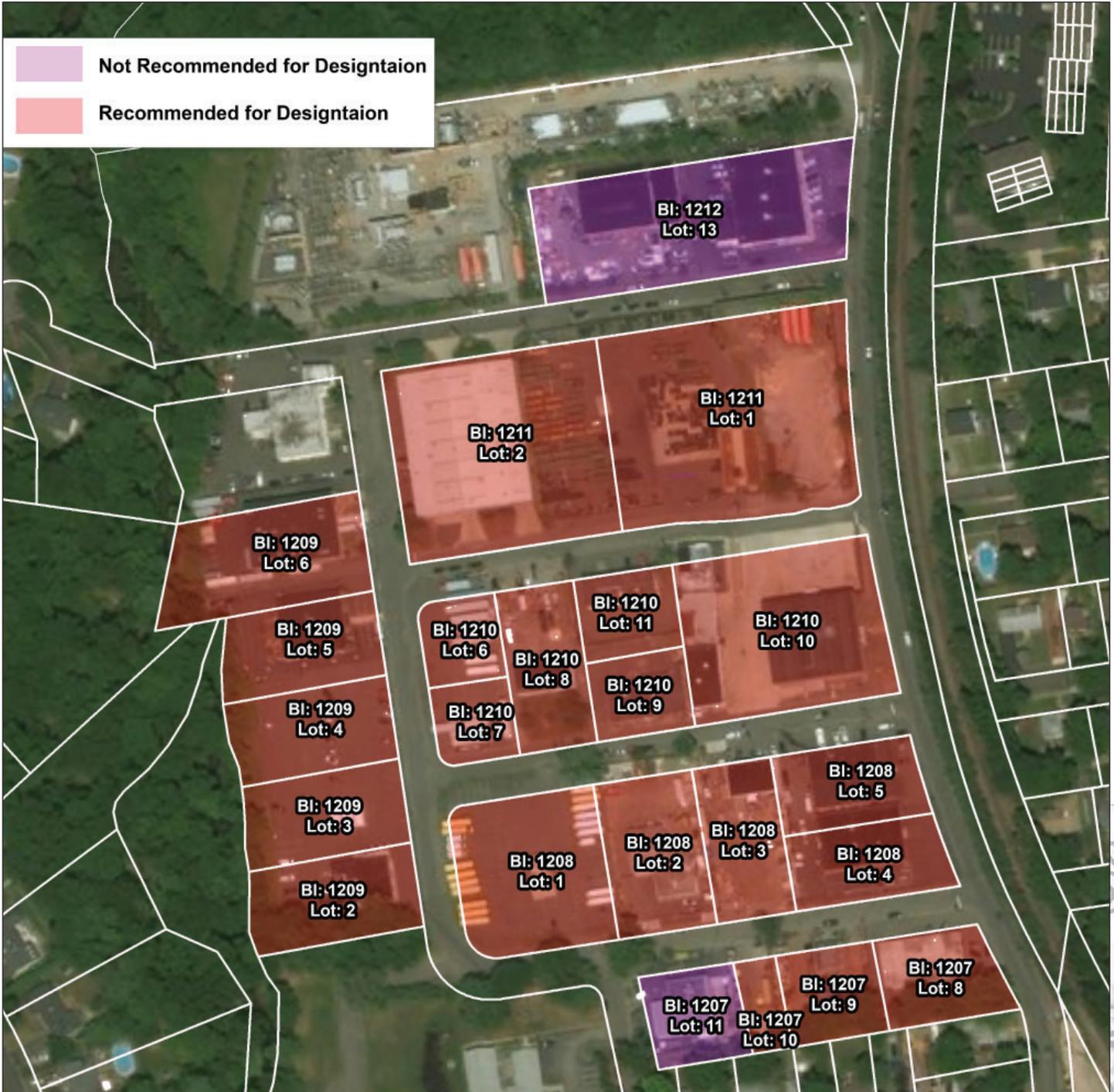
Based on the evidence gathered within this report which included multiple site visits, review of all available building, fire, police and tax assessors information, available GIS, and NJDEP information it was determined these property met Criteria 'd' which states: Areas with buildings or improvements which, by reason of dilapidation, obsolescence, overcrowding, faulty arrangement or design, lack of ventilation, light and sanitary facilities, excessive land coverage, deleterious land use or obsolete layout, or any combination of these or other factors, are detrimental to the safety, health, morals or welfare of the community.

The Investigation Report demonstrates that the cumulative effects of the negative conditions existing upon these properties located within the Area of Investigation are having a decadent effect on the surrounding properties, which is demonstrated through the pictures, narrative, Borough records showing that many of the properties in the immediate vicinity are in visual need of repair and vacant.

Based on the information obtained through the investigation of each property within the investigation area, it is the recommendation of this report the following properties do not meet the statutory criteria and therefore should be designated as an area in need of redevelopment.

Properties Not Recommended for Redevelopment Designation:

- Block 1207: Lots 11
- Block 1212: Lots 13



Map: Recommendations of this report for designation and non-designation.



Report of  
**Preliminary Investigation for  
Determination of an Area in Need of Redevelopment  
without Condemnation**

For

Block: 1207, Lots: 8, 9 10 & 11; Block: 1208, Lots: 1, 2, 3, 4 & 5; Block: 1209, Lots: 2, 3, 4, 5 & 6;  
Block: 1210, Lots: 6, 7, 8, 9, 10 & 11; Block: 1211, Lots: 1 & 2; Block: 1212, Lot: 13.



**APPENDIX**